

PB# 00-11

**Benjamin Harris
(SP)**

45-1-39

00-11

BENJAMIN HARRIS SITE PLAN (CC
RT. 32 - 2-STORY OFFICE BUILD

Approved 4-16-01



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

2 August 2000

SUBJECT: BEN HARRIS SITE PLAN
SECTION 45 – BLOCK 1 – LOT 39
TOWN OF NEW WINDSOR, NEW YORK (P/B REF. NO. 00-11)

To All Involved Agencies:

The Town of New Windsor Planning Board has had placed before it an Application for Site Plan approval of the Ben Harris Site Plan located on NYS Route 32 within the Town. The project involves the development of a 4,976 sq.ft. building, located on a 0.68+/- acre parcel. It is the opinion of the Town of New Windsor Planning Board that the action is an unlisted action under SEQRA.

This letter is written as a request for Lead Agency coordination as required under Part 617 of the Environmental Conservation Law.

A letter of response with regard to your interest in the position of Lead Agency, as defined by Part 617, Title 6 of the Environmental Conservation Law and the SEQRA Review Process, sent to the Town of New Windsor Planning Board, 555 Union Avenue, New Windsor, New York 12553, Attention: Mark J. Edsall, P.E., Planning Board Engineer (contact person), would be most appreciated. Should no other involved Agency desire the Lead Agency position; it is the desire of the Town of New Windsor Planning Board to assume such role. Should the Planning Board fail to receive a response requesting Lead Agency within thirty (30) days, it will be understood that you do not have an interest in the Lead Agency position.

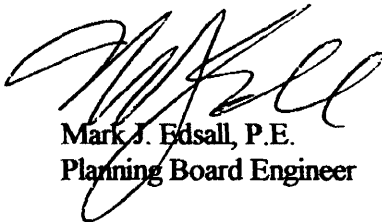
All Involved Agencies
Page 2,
Ben Harris Site Plan

Attached hereto is a copy of the Site Plan (Drawing SP-1), for your reference. A copy of the Short Environmental Assessment Form submitted for the project is also included.

Your attention in this matter would be most appreciated. Should you have any questions concerning this project, please do not hesitate to contact the undersigned at (914) 563-4615.

Very truly yours,

TOWN OF NEW WINDSOR
PLANNING BOARD



Mark J. Edsall, P.E.
Planning Board Engineer

NW00-11LAcoordLTR.doc
Enclosure

cc: NYS Department of Transportation, Poughkeepsie
Orange County Department of Planning
Town of New Windsor Supervisor
Town of New Windsor Town Clerk (w/o encl)
Myra Mason, PB Secretary
Applicant (w/o encl)
Planning Board Chairman (w/o encl)
Planning Board Attorney (w/o encl)

PROJECT I.D. NUMBER

617.21

SEQR

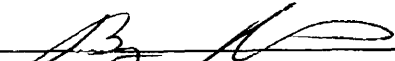
Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR Ben Harris	2. PROJECT NAME Route 32 Site Plan
3. PROJECT LOCATION: Municipality New Windsor County Orange	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) East side of Route 32	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Proposed building is for a two story retail / office building.	
7. AMOUNT OF LAND AFFECTED: Initially <u>7</u> acres Ultimately <u>7</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>BENJAMIN HARRIS</u> Date: <u>7-5-00</u>	
Signature: <u></u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

1

00-11

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:	
no	
C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:	
no	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:	
no	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:	
no	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:	
no	
C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:	
no	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:	
no	
D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:	
Name of Lead Agency	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from responsible officer)
Date	



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

[] Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

[] Regional Office
507 Broad Street
Millford, Pennsylvania 18337
(570) 296-2705
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

MEMORANDUM

(via fax)

12 April 2002

TO: MICHAEL BABCOCK, TOWN BUILDING INSPECTOR

FROM: MARK J. EDSALL, P.E., TOWN ENGINEER

SUBJECT: BEN HARRIS SITE PLAN (NWPB # 00-11)

Reference the subject site plan, a field review was performed on the afternoon of 10 April 2002. The site was reviewed per the approved site plan, stamped on 4-16-01 by Chairman Petro.

To confirm our discussion on the evening of April 16th, the site work is complete and in substantial conformance with the approved site plan.

I see no reason why a C of O could not be issued, as long as building code related issues reviewed by your staff are in order.

Contact me if you have any questions concerning the above.

NW00-11-Completion Memo 041202.doc
MJE/st

CORRESPONDENCE

BENJAMIN HARRIS SITE PLAN (00-11)

MR. PETRO: We have Benjamin Harris site plan request for re-approval. "Dear Mr. Chairman: We respectfully ask for reapproval of our project. My office has finished construction drawings for the building. We wish to apply for a building permit as soon as possible." This is the Route 32 office building.

MR. EDSALL: For the record, Mr. Chairman, Mike Babcock and I discussed this application and to our knowledge, nothing has changed in the code which would make the reapproval a problem.

MR. PETRO: It's been a year already?

MR. EDSALL: Yes.

MS. MASON: It was 180 days and didn't ask for the extension, for the 180 day extension. It's for reapproval.

MR. PETRO: For 180 days.

MR. ARGENIO: Make a motion we reapprove the Ben Harris site plan.

MR. LANDER: Second it.

MR. PETRO: Motions has been made and seconded that the New Windsor Planning Board grant Ben Harris site plan on Route 32 a reapproval for 180 days starting what date?

MR. EDSALL: It will be tonight cause technically, you're processing the application tonight.

MR. PETRO: Any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. KARNAVEZOS	AYE

April 11, 2001

25

MR. LANDER AYE
MR. PETRO AYE

MR. PETRO: Motion to adjourn?

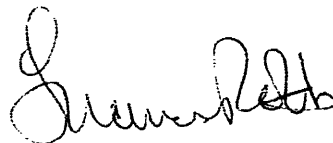
MR. ARGENIO: So moved.

MR. LANDER: Second it.

ROLL CALL

MR. ARGENIO AYE
MR. KARNAVEZOS AYE
MR. LANDER AYE
MR. PETRO AYE

Respectfully Submitted By:



Frances Roth
Stenographer

4/11/01

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/26/2001

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN

APPLICANT: HARRIS, BEN

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
04/16/2001	PLANS STAMPED	APPROVED
04/11/2001	REQUEST FOR REAPPROVAL . ORIGINAL APPROVAL OF 9-13-00 (180 DAYS) EXPIRED	REAPPROVED
10/13/2000	COST ESTIMATE SUBMITTED	SENT TO MARK EDSALL
09/13/2000	P.B. APPEARANCE . NEED COST ESTIMATE AND FEES PAID .	LA:ND APPROV CONDI
08/23/2000	PUBLIC HEARING . CLOSED PUBLIC HEARING. COULD NOT TAKE LEAD AGENCY AS 30 DAY . PERIOD WAS NOT UP UNTIL 9/3/00 - PUT ON NEXT AGENDA	NO PUBLIC/NEXT AGEND
07/12/2000	P.B. APPEARANCE . REVISE PLANS AS PER MEETING AND MARK'S COMMENTS - SCHEDULE . PH	LA LETTER SCHED PH
07/05/2000	WORK SESSION APPEARANCE	SUBMIT
05/18/2000	WORK SESSION APPEARANCE	RETURN TO WS

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/26/2001

PAGE: 1

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN

APPLICANT: HARRIS, BEN

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	08/08/2000	MUNICIPAL HIGHWAY	08/22/2000	NO CONCERNS
REV1	08/08/2000	MUNICIPAL WATER	/ /	
REV1	08/08/2000	MUNICIPAL SEWER	/ /	
REV1	08/08/2000	MUNICIPAL FIRE	08/16/2000	APPROVED
REV1	08/08/2000	NYS DOT	/ /	
ORIG	07/06/2000	MUNICIPAL HIGHWAY	07/11/2000	APPROVED
ORIG	07/06/2000	MUNICIPAL WATER	08/08/2000	SUPERSEDED BY REV
ORIG	07/06/2000	MUNICIPAL SEWER	08/08/2000	SUPERSEDED BY REV
ORIG	07/06/2000	MUNICIPAL FIRE	07/11/2000	APPROVED
ORIG	07/06/2000	NYS DOT	08/08/2000	SUPERSEDED BY REV

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/26/2001

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN

APPLICANT: HARRIS, BEN

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	07/06/2000	EAF SUBMITTED	07/06/2000	WITH APPLIC
ORIG	07/06/2000	CIRCULATE TO INVOLVED AGENCIES	07/12/2000	COORD. LETTER
ORIG	07/06/2000	LEAD AGENCY DECLARED	09/13/2000	TOOK LA
ORIG	07/06/2000	DECLARATION (POS/NEG)	09/13/2000	DECL. NEG DEC
ORIG	07/06/2000	SCHEDULE PUBLIC HEARING	07/12/2000	SCHED. PH
ORIG	07/06/2000	PUBLIC HEARING HELD	08/23/2000	CLOSED PH
ORIG	07/06/2000	WAIVE PUBLIC HEARING	/ /	
ORIG	07/06/2000	AGRICULTURAL NOTICES	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/12/2001

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
4% FEE

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN

APPLICANT: HARRIS, BEN

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
01/17/2001	2% OF COST EST \$75,860.00	CHG	1517.20		
04/05/2001	REC. CK. #17043	PAID		1517.20	
			-----	-----	-----
		TOTAL:	1517.20	1517.20	0.00



Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

Lab. # 00-11
Approval fee

RECEIPT
#333-2001

04/12/2001

Harris, Benjamin

Received \$ 100.00 for Planning Board Fees, on 04/12/2001. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

08. # 00-11
Approved

RECEIPT
#334-2001

04/12/2001

Harris, Benjamin

Received \$ 100.00 for Planning Board Fees, on 04/12/2001. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/12/2001

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN

APPLICANT: HARRIS, BEN

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
07/06/2000	REC. CK. #16511 HARRIS	PAID		750.00	
07/12/2000	P.B. ATTY FEE	CHG	35.00		
07/12/2000	P.B. MINUTES	CHG	40.50		
08/23/2000	P.B. ATTY. FEE	CHG	35.00		
08/23/2000	P.B. MINUTES	CHG	22.50		
09/13/2000	P.B. ATTY. FEE	CHG	35.00		
09/13/2000	P.B. MINUTES	CHG	13.50		
01/17/2001	P.B. ENGINEER FEE	CHG	288.00		
04/12/2001	RET. TO APPLICANT	CHG	280.50		
		TOTAL:	750.00	750.00	0.00

4/12/01

L.R.

ANTHONY J. COPPOLA, R.A.*Design, Architecture and Planning*375 Third St.
Newburgh, N.Y. 12550Tel: 845-561-3559
Fax: 845-561-2951

ajcarch@frontiernet.net

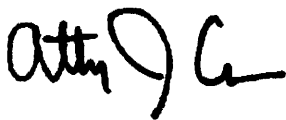
Fax Memo**To: Town of New Windsor
Planning Board****Date: April 9th 2001****Project: Ben Harris-Route 32 Office Building
Re: re-approval**

Dear Mr. Chairman,

We respectfully ask for re-approval of our project. My office has finished the construction drawings for the building. We wish to apply for a building permit as soon as possible.

Re-approved

Please give me a call if you have any other questions.



Anthony Coppola

Cc:
Document:

SITE PLAN FEES - TOWN OF NEW WINDSOR
(INCLUDING SPECIAL PERMIT)

APPLICATION FEE:.....\$ 100.00

* * * * *

ESCROW:

SITE PLANS (\$750.00 - \$2,000.00).....\$ _____

MULTI-FAMILY SITE PLANS:

UNITS @ \$25.00 PER UNIT (AFTER 40 UNITS).....\$ _____

* * * * *

PLAN REVIEW FEE: (EXCEPT MULTI-FAMILY) \$ ~~100.00~~

PLAN REVIEW FEE (MULTI-FAMILY): A. \$100.00
PLUS \$25.00/UNIT B. _____

TOTAL OF A & B: \$ 100.00 (1)

RECREATION FEE: (MULTI-FAMILY)

\$500.00 PER UNIT

_____ @ \$500.00 EA. EQUALS: \$ _____
NUMBER OF UNITS

SITE IMPROVEMENT COST ESTIMATE: \$ 75,860.00

2% OF COST ESTIMATE \$ _____ EQUALS \$ 1,517.20 (2)

TOTAL ESCROW PAID:.....\$ X

TO BE DEDUCTED FROM ESCROW: X

RETURN TO APPLICANT: \$ 280.50

ADDITIONAL DUE: \$ X

*Notified Anthony
Cappola
1/17/01*

**TOWN OF NEW WINDSOR
ENGINEER AND PLANNING BOARD OFFICE**

MEMORANDUM

TO: PLANNING BOARD FILE #00-11

FROM: MYRA MASON, SECRETARY

DATE: JANUARY 19, 2001

SUBJECT: BENJAMIN~~A~~ HARRIS SITE PLAN #00-11

On this date, I spoke to Ben Harris regarding finalizing the above application. He stated he was not ready to begin the site at this point. I informed him that the Conditional Site Plan Approval is due to expire in March 2001. I suggested that he write a letter to the Planning Board and ask for two 90-day extensions of this approval. He said he would take care of that. I also informed him that he needs to keep track of the expiration dates of this project.

By copy of this memo to file, I ask that Anthony Coppola please keep me informed as to the status of this project and its approvals.

Thank you,

Myra

cc: Anthony Coppola, Architect



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY
and PENNSYLVANIA

□ Main Office

45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(845) 562-8640
e-mail: mhenry@att.net

□ Regional Office

507 Broad Street
Millford, Pennsylvania 18337
(570) 296-2765
e-mail: mhpa@ptd.net

MEMORANDUM

(via fax)

17 January 2001

TO: MYRA MASON, PLANNING BOARD SECRETARY

FROM: MARK J. EDSALL, P.E., PLANNING BOARD ENGINEER

SUBJECT: BEN HARRIS SITE PLAN
NWPB NO. 00-11

I have reviewed the cost estimate for the subject project (copy attached). It is my opinion that the estimate submitted totaling \$75,860.00 is acceptable.

I am not aware of any corrections needed to the plans.

Attached is a copy of our time printout for the project so you can close out this application.

Call if you have any questions.

ME:ra011731 des
MJE:st

Ben Harris Site Work Construction Budget			
Item	Quantity	Unit Price	Total
Site Work:			
◆ Site lighting			\$ 8,000.00
◆ Rough grading/Demolition			\$ 10,000.00
◆ Final grading			\$ 2,000.00
◆ Pavement	15,500 SF	\$ 1.50	\$ 23,250.00
◆ Curbing	785 LF	\$ 11.00	\$ 8,635.00
◆ Sidewalks	850 SF	\$ 3.50	\$ 2,975.00
◆ Storm drainage			\$ 5,000.00
◆ Site utilities			\$ 10,000.00
◆ Signage			\$ 1,000.00
◆ Landscaping			\$ 5,000.00
Total:			\$ 75,860.00

AS OF: 01/17/2001

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 1715

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 0-11

FOR WORK DONE PRIOR TO: 01/17/2001

TASK NO	REC	DATE	TRAN	EMPI	ACT DESCRIPTION-----	RATE	HRS.	TIME	DOLLARS		
									EXP.	BILLED	BALANCE
0-11	165950	05/18/00	TIME	MJE	WS HARRIS	80.00	0.40	32.00			
0-11	169565	06/21/00	TIME	MJE	WS BEN HARRIS RE 32	80.00	0.40	32.00			
0-11	170892	07/05/00	TIME	MJE	WS HARRIS S/P	80.00	0.40	32.00			
0-11	172219	07/11/00	TIME	MJE	MC HARRIS S/P RTE 32	80.00	0.50	40.00			
0-11	174080	08/02/00	TIME	MJE	WS BEN HARRIS SUB	80.00	0.40	32.00			
0-11	176290	08/23/00	TIME	MJE	MC BEN HARRIS SITE PLAN	80.00	0.50	40.00			
								208.00			
0-11	174900	08/16/00			BILL CO 781					168.00	
										-168.00	
0-11	177710	09/13/00	TIME	MJE	MC BEN HARRIS S/P	80.00	0.40	32.00			
0-11	177740	09/13/00	TIME	MJE	MM Harris Conc S/P Appl	80.00	0.10	8.00			
								40.00			
0-11	178230	09/18/00			BILL CO 871					-80.00	
										-80.00	
0-11	189710	01/17/01	TIME	MJE	MC Harris Closeout	80.00	0.50	40.00			
					TASK TOTAL			288.00	0.00	248.00	40.00
					GRAND TOTAL			288.00	0.00	248.00	40.00

**PREVIOUS
DOCUMENT
IN POOR
ORIGINAL
CONDITION**

REGULAR ITEMS:

BEN HARRIS SITE PLAN (00-11)

Mr. Mario Salpepi appeared before the board for this proposal.

MR. PETRO: This is construction of two story 4,979 square foot commercial building on the existing vacant lot. The plan was previously reviewed at 12 July, 2000 and 23 August, 2000 Planning Board meetings.

MR. SALPEPI: Okay, last session I think we had the public hearing and close out, we only had two small comments left on the drawings, one was to clarify the dimension next to the building between the retaining wall and the property line. That dimension has been taken from the back of the wall, just to make it clearer, and match the detail dimension shown is 4 feet from the front of the wall to match the detail. Retaining wall detail is shown on the second page, that's four foot excavation maximum.

MR. PETRO: We have highway approval on 8/22/2000, fire approval on 8/16/2000 and can I have a motion for lead agency?

MR. LUCAS: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board take lead agency for the Ben Harris site plan on Route 32. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: You went to the zoning board you said,

correct?

MR. SALPEPI: Not that I recall, no.

MR. PETRO: Let's talk a little bit about the, I know most of the comments have been addressed, Mark's comments, he even says here really nothing left, about the public hearing, I know it's a permitted use in the zone, you have commercial on both sides of you, you do have residential behind you.

MR. BABCOCK: There was one.

MR. EDSALL: There was a public hearing last month.

MR. PETRO: I'm right up on things. Okay, we had a public hearing, let's go right to motion for negative dec.

MR. LUCAS: Make it.

MR. ARGENIO: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board declare negative dec for the Ben Harris site plan. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: Mark, what do you have left on this? I know you've told me nothing here.

MR. EDSALL: There are none, they have worked with us at the workshop and the only additional item that the board asked for, Mr. Lander, was to call for the privacy slats in the rear fence and that's noted on the plans, so everything's taken care of, other than the condition of getting the bond estimate in and paying

the fees.

MR. PETRO: Do any of the board members have anything left? I think we've gone through this, this is the third time, so entertain a motion for final approval.

MR. LUCAS: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board grant final approval on the Ben Harris site plan subject to a bond estimate in accordance with Chapter 19 B submitted. You understand that, right?

MR. SALPEPI: Right.

MR. PETRO: Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY
and PENNSYLVANIA

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New Windsor, New York 12553
(914) 562-8640
e-mail: mheny@att.net
- ☐ **Regional Office**
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@ptd.net

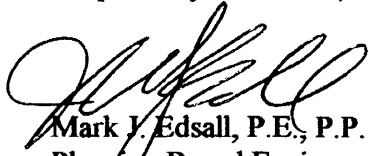
**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: BEN HARRIS SITE PLAN
PROJECT LOCATION: NYS ROUTE 32
SECTION 45 – BLOCK 1 – LOT 39
PROJECT NUMBER: 00-11
DATE: 13 SEPTEMBER 2000
DESCRIPTION: THE APPLICATION PROPOSES THE
CONSTRUCTION OF A TWO-STORY 4976 S.F.
COMMERCIAL BUILDING ON THE EXISTING
VACANT LOT. THE PLAN PREVIOUSLY REVIEWED
AT THE 12 JULY 2000 AND 23 AUGUST 2000
PLANNING BOARD MEETING.

1. The project is located in the “Design Shopping” (C) Zoning District of the Town. The “required” bulk information on the plan is correct for the zone and uses. Uses A1-A4 of the tables are proposed. The site meets the minimum requirements with the exception of two pre-existing non-conformances for the existing lot.
2. All previous comments have been addressed on this latest plan submitted. I am aware of no other outstanding issues regarding the plans.
3. At the July meeting, the Board authorized a Lead Agency coordination letter (NYSDOT is also involved) to begin the SEQRA process. The 30-day period has now elapsed and I am aware of no other agencies which indicated interest in the Lead Agency position. The Board should formally assume the position of Lead Agency.
4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
5. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Chapter 19 of the Town Code.

6. At this time I am aware of no reason why the Planning Board could not consider a Conditional Final Site Plan Approval, subject to the above items and payment of fees to the Town.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW00-11-13Sept00.doc

PUBLIC HEARING:

BEN HARRIS SITE PLAN (00-11) RT. 32

MR. PETRO: Proposed two story office building in a C zone. If anyone is here for this public hearing, the board is going to review it first, then we'll open it up to the public.

Mr. Mario Salpepi appeared before the board for this proposal.

MR. SALPEPI: We had a series of comments as per the last meeting and Mr. Edsall's list of comments, we subsequently had our workshop which we brought these plans to. He reviewed them. We also went over the back drainage which was the biggest question at the last meeting and I met with Mr. Edsall's associate who worked on the drainage back there and we worked out a solution as to how to deal with the drainage.

MR. LANDER: What, Mario, let me interrupt you there, what are we going to do with that drainage?

MR. SALPEPI: We're going to install a catch basin at the roadway leading to the back. That catch basin will tie directly into an existing catch basin which exists in that easement out back. The rear parking lot will be sheet flowed off, there's the existing easement has a three foot gravel trench across the entire length and we're going to sheet flow off the parking lot into that gravel trench, we're proposing an earth berm on the other side of the trench to make sure if there was a heavy flow, it wouldn't get across the gravel if leaves were across the gravel.

MR. LANDER: How about screening in the back there?

MR. SALPEPI: Okay, screening, we have laid in a staggered line of white pines, I believe.

MR. LANDER: Are they going to be sheared white pines because there's two different types, you have sheared type and you've got the other ones that you can see through so we want something to block it right away.

MR. SALPEPI: Okay, in addition, we discussed the fencing back there, we're proposing the fence along the--

MR. LANDER: Stockade?

MR. SALPEPI: Chain link, I believe it's four foot, there's a detail along with the retaining wall.

MR. LANDER: Slats?

MR. SALPEPI: Yes, it's on SP2 along with the retaining wall details.

MR. LANDER: Mr. Argenio, you had a question on the retaining wall last week?

MR. ARGENIO: Yeah, I wonder if it's been addressed.

MR. SALPEPI: The distance from the retaining wall to the property line we now we maxed it to, we call it out at three foot six behind the wall. So from the front of the wall, I believe it was four feet, we believe any excavation will take place within that three foot six and I believe we designated it in the detail alignment excavation shouldn't pass four feet from the front of the wall. And the four foot high wall is borderline for the geogrid so if it needs one layer of geogrid, it should be fine.

MR. ARGENIO: How close was it before?

MR. SALPEPI: I think it was two feet, we had some additional space on the other side between the building and the curb, we put the curb closer.

MR. ARGENIO: Mark, is that reasonable?

MR. EDSALL: I believe so, I haven't had any information from the specific wall they're installing but I actually got confused in comparison to what was just explained because the, I read it as the plan showing that they are setting it three foot six off the property line and the details showing that they need

four foot so therefore, a slight encroachment, so we need to make sure that they--

MR. SALPEPI: Okay, yeah, to clarify--

MR. EDSALL: It's a minor item, just make sure the final plan is clear that they can't encroach.

MR. PETRO: That's a short wall in height for that type of construction anyway, that's not a major four foot for that type of wall is something like you did out in front of Shop Rite.

MR. ARGENIO: You're right, Mr. Chairman, it's been my experience depending on as Mark said the design engineer of the wall and the type of wall some of the walls when you get to four feet, you may not need geogrid, depending.

MR. SALPEPI: It was borderline, I looked at a couple types.

MR. ARGENIO: Other manufacturers sometimes you need as much as three feet but you're right, four foot is low.

MR. LANDER: Take a look at the landscaping.

MR. PETRO: Let's open it up to the public, then we can come back to the board. On August 8, 2000, 12 addressed envelopes containing the attached notice of public hearing with the certified list provided by the assessor regarding the public hearing went out. Is there anybody here that would like to speak on behalf of this application? Okay, let the minutes reflect that there's nobody here and at this time, I'll entertain a motion to close the public hearing.

MR. ARGENIO: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board close the public hearing for the Ben Harris site plan on Route 32. At this time, I will reopen it up to the board for further comment. We

have highway approval 8/22/2000 and fire approval 8/16/2000. Mark, do you have any outstanding comments on this, something we really need to look at hard?

MR. EDSALL: No, it's extremely minor. I just wanted to make sure you're happy with landscaping plan and the lighting, I believe the lighting is fine. Mr. Lander questioned the type of fence at the rear, was that resolved as far as the type fence?

MR. LANDER: Chain link, I just looked at the detail, I don't know if it's privacy slats or not.

MR. EDSALL: It doesn't seem to.

MR. LANDER: We're going to need privacy slats in there.

MR. SALPEPI: We had them previously, I think I took them out, we'll put them back in.

MR. PETRO: Mark, on July 12 was the last time you reviewed this with the lead agency coordination letter went out, you're saying the 30 days hasn't lapsed, was that from when you mailed it?

MR. EDSALL: Yeah, we had the letter done, we had to wait for the attachments, it went out August 2.

MR. PETRO: We have no response from DOT, we can't take action until we do because we can't.

MR. SALPEPI: Can approval be granted subject to DOT?

MR. LANDER: Well, we've done that in the past, but then DOT would come back to us and say well, you shouldn't really give them approval until you have a written letter from us, then they've vacillated again, said well, it's okay to do that.

MR. PETRO: Not only the DOT, but problem is we haven't taken lead agency, so we certainly can't give final approval, even subject to without taking lead agency. So if it was just DOT, I would consider it but being that you have the other one.

MR. LANDER: Do we have the coordination letter out?

MR. PETRO: Yes, August 2 it went out, but you'll be on the next agenda, just be going through the motions.

MR. SALPEPI: Right.

MR. EDSALL: I don't believe there's any other issues, that's in real good shape, it's just unfortunate DOT very rarely responds quickly.

MR. LANDER: Right.

MR. EDSALL: If at all.

MR. PETRO: Okay, thank you.



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(570) 296-2765
e-mail: mhepa@ptd.net

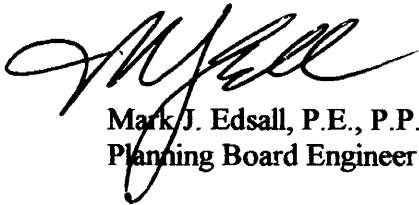
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: BEN HARRIS SITE PLAN
PROJECT LOCATION: NYS ROUTE 32
SECTION 45 – BLOCK 1 – LOT 39
PROJECT NUMBER: 00-11
DATE: 23 AUGUST 2000
DESCRIPTION: THE APPLICATION PROPOSES THE
CONSTRUCTION OF A TWO-STORY 4976 S.F.
COMMERCIAL BUILDING ON THE EXISTING
VACANT LOT. THE PLAN PREVIOUSLY REVIEWED
AT THE 12 JULY 2000 PLANNING BOARD MEETING.
THE APPLICATION IS BEFORE THE BOARD FOR A
PUBLIC HEARING AT THIS MEETING.

1. The project is located in the "Design Shopping" (C) Zoning District of the Town. The "required" bulk information on the plan is correct for the zone and uses. Uses A1-A4 of the tables are proposed. The site meets the minimum requirements with the exception of two pre-existing non-conformances for the existing lot. The bulk table has been corrected as previously requested.
2. I have performed a preliminary review of the plan and have the following comments:
 - a. The plan view indicates a 3'-6" offset for the retaining wall to the property line. The detail indicates a maximum 4' excavation. This would appear to cause an encroachment. This should be resolved.
 - b. As previously indicated, the detail for handicapped parking spaces should note that all striping should be blue.
3. The applicant's architect has now depicted a lighting isolux plan and a landscaping plan and schedule. I believe these are acceptable. The Board should review these to determine if they are acceptable.

4. At the July meeting, the Board authorized a Lead Agency coordination letter (NYSDOT is also involved) to begin the SEQRA process. To date, the 30-day period has not expired, and DOT has not yet responded.
5. Once the Board has had the opportunity to receive comments from the Public at this Hearing, I will be pleased to review any additional concerns, which may be identified, as deemed necessary by the Planning Board.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW00-11-23Aug00.doc



Building Permit Tracking Log

Building Permit Application Number: 529-2000 Building Permit Application Date:

7/6/2000

Type of Permit: Commercial Building

Section/Block/Lot: 45-1-39
Street Address of Property: ST HWY 32
Property Owners Name: HARRIS BENJAMIN
Property Owners Address: PO BOX 780
Occupant's Name: HARRIS BENJAMIN

Architect/Engineer's Name: COPPOLA ANTHONY
Architect/Engineer's Telephone Number:
Architect/Engineer's Fax Number:

NYS Occupancy Classification:

Description of Work: Two story retail/office building
Dimensions of Building: 0.00 0.00 0.00 0.00
Comments:

Building Permit Application Review Approvals

Review Type	Building Inspector	Date	Fire Inspector	Date
Application	R. Krueger	7/6/00		

7/6/00 Referred to Planning Board R.K.

*
Planning board

RESULTS OF P.R. MEETING OF: September 3, 2000

PROJECT: Ben Harris S.P.

P.B.# 00-11

LEAD AGENCY:

NEGATIVE DEC:

1. AUTHORIZE COORD LETTER: Y___ N___
2. TAKE LEAD AGENCY: Y ☒ N___

M) 44 S) A VOTE: A 5 N 0
CARRIED: YES ☒ NO ☐

M) LUS LN VOTE: A 5 N 0
CARRIED: YES ☒ NO ☐

WAIVE PUBLIC HEARING: M)___S)___ VOTE: A___N___ WAIVED: Y___N___

SCHEDULE P.H. Y__N__

SEND TO O.C. PLANNING: Y

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A: M) S) VOTE: A N

RETURN TO WORK SHOP: YES NO

APPROVAL:

M) S) VOTE: A N APPROVED: _____

MAY 5) A VOTE: A 5 N 0 APPROVED CONDITIONALLY: 9-13-00

NEED NEW PLANS: Y N ✓

DISCUSSION/APPROVAL CONDITIONS:

Need cost estimate

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/13/2000

PAGE: 1

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN
APPLICANT: HARRIS, BEN

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	08/08/2000	MUNICIPAL HIGHWAY	08/22/2000	NO CONCERNS
REV1	08/08/2000	MUNICIPAL WATER	/ /	
REV1	08/08/2000	MUNICIPAL SEWER	/ /	
REV1	08/08/2000	MUNICIPAL FIRE	08/16/2000	APPROVED
REV1	08/08/2000	NYSDOT	/ /	
ORIG	07/06/2000	MUNICIPAL HIGHWAY	07/11/2000	APPROVED
ORIG	07/06/2000	MUNICIPAL WATER	08/08/2000	SUPERSEDED BY REV1
ORIG	07/06/2000	MUNICIPAL SEWER	08/08/2000	SUPERSEDED BY REV1
ORIG	07/06/2000	MUNICIPAL FIRE	07/11/2000	APPROVED
ORIG	07/06/2000	NYSDOT	08/08/2000	SUPERSEDED BY REV1

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/13/2000

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
O [Disap, Appr]

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN
APPLICANT: HARRIS, BEN

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
08/23/2000	PUBLIC HEARING	NO PUBLIC/NEXT AGEND . CLOSED PUBLIC HEARING. COULD NOT TAKE LEAD AGENCY AS 30 DAY . PERIOD WAS NOT UP UNTIL 9/3/00 - PUT ON NEXT AGENDA
07/12/2000	P.B. APPEARANCE	LA LETTER SCHED PH . REVISE PLANS AS PER MEETING AND MARK'S COMMENTS - SCHEDULE . PH
07/05/2000	WORK SESSION APPEARANCE	SUBMIT
05/18/2000	WORK SESSION APPEARANCE	RETURN TO WS

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/13/2000

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 0-11

NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN

APPLICANT: HARRIS, BEN

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	07/06/2000	EAF SUBMITTED	07/06/2000	WITH APPLIC
ORIG	07/06/2000	CIRCULATE TO INVOLVED AGENCIES	07/12/2000	COORD. LETTER
ORIG	07/06/2000	LEAD AGENCY DECLARED	/ /	
ORIG	07/06/2000	DECLARATION (POS/NEG)	/ /	
ORIG	07/06/2000	SCHEDULE PUBLIC HEARING	07/12/2000	SCHED. PH
ORIG	07/06/2000	PUBLIC HEARING HELD	08/23/2000	CLOSED PH
ORIG	07/06/2000	WAIVE PUBLIC HEARING	/ /	
ORIG	07/06/2000	AGRICULTURAL NOTICES	/ /	

RESULTS OF PUBLIC MEETING OF: August 28, 2000

PROJECT: Ben Harris S.P.

P.B.# 00-11

LEAD AGENCY:

NEGATIVE DEC:

1. **AUTHORIZE COORD LETTER:** Y__ N__

M)__ S)__ VOTE: A__ N__

2. **TAKE LEAD AGENCY:** Y__ N__

CARRIED: YES__ NO__

M)__ S)__ VOTE: A__ N__

CARRIED: YES__ NO__

Close
~~WAIVE PUBLIC HEARING:~~

M)A S)N VOTE: A4 N0

Closed
WAIVED: Y__ N__

SCHEDULE P.H. Y__ N__

SEND TO O.C. PLANNING: Y__

SEND TO DEPT. OF TRANSPORTATION: Y__

REFER TO Z.B.A.: M)__ S)__ VOTE: A__ N__

RETURN TO WORK SHOP: YES__ NO__

APPROVAL:

M)__ S)__ VOTE: A__ N__ APPROVED: _____

M)__ S)__ VOTE: A__ N__ APPROVED CONDITIONALLY: _____

NEED NEW PLANS: Y__ N__

DISCUSSION/APPROVAL CONDITIONS:

<u>No Public Comment</u>
<u>Next Agenda</u>

In the Matter of Application for ~~Site Plan/Subdivision~~ of

Ben Harris (00-11)

AFFIDAVIT OF
SERVICE
BY MAIL

STATE OF NEW YORK)
) SS.:
COUNTY OF ORANGE)

That I am not a party to the action, am over 18 years of age and reside at 350 Bethlehem Road, New Windsor, NY 12553.

On August 8, 2000, I compared the 12 addressed envelopes containing the attached Notice of Public Hearing with the certified list provided by the Assessor regarding the above application for Site Plan/Subdivision and I find that the addressees are identical to the list received. I then mailed the envelopes in a U.S. Depository within the Town of New Windsor.

Myra L. Mason
Myra L. Mason, Secretary for
the Planning Board

Sworn to before me this

9th day of August, 192000

Deborah Queen
Notary Public

DEBORAH GREEN
Notary Public, State of New York
Qualified in Orange County
4984065
Commission Expires July 15, 2001



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (914) 563-4631
Fax: (914) 563-4693

Assessors Office

July 19, 2000

Ben Harris
P.O. Box 780
Cornwall, NY 12518

Re:45-1-39

Dear Mr.Harris

According to our records, the attached list of property owners are abutting to the above referenced property.

The charge for this service is \$35.00, minus your deposit of \$25.00.

Please remit the balance of \$10.00 to the Town Clerk's Office.

Sincerely,

Leslie Cook
Sole Assessor

LC/bw
Attachments

CC: Myra Mason,PB

Deborah & Gerald Wynters
& Herbert Milch
42 Continental Dr.
New Windsor, NY 12553 ✓

James R. Petro, Chairman
Planning Board
555 Union Ave
New Windsor, NY 12553 ✓

Naomi Wessman
44 Continental Dr.
New Windsor, NY 12553 ✓

Mark J. Edsall, P.E.
McGoey and Hauser
Consulting Engineers, P.C.
45 Quassaick Ave
New Windsor, NY 12553 ✓

Renee Kroun
46 Continental Dr.
New Windsor, NY 12553 ✓

County of Orange
255-275 Main Street
Goshen, NY 10924 ✓

Rottmeier Dev. Co. Inc.
C/o Newburgh Pork Store
327 Windsor Hwy
New Windsor, NY 12553 ✓

Brauvn High Yield Fund LP
30 North Lasalle Street, Suite 3100
Chicago, IL 60602 ✓

Petro Metals Inc.
North Plank Development Co. LLC
313 Broadway
Newburgh, NY 12550 ✓

George J. Meyers, Supervisor
Town of New Windsor
555 Union Ave
New Windsor, NY 12553 ✓

Dorothy H. Hansen, Town Clerk
Town of New Windsor
555 Union Ave
New Windsor, NY 12553 ✓

Andrew Krieger, ESQ
219 Quassaick Ave
New Windsor, NY 12553 ✓

12 Mailed

7/13/00

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

REQUEST FOR NOTIFICATION LIST

DATE: 7-13-2000



1765

NAME: Ben Harris

TELE: () 516-3569

ADDRESS: P.O. Box 780

*Please Call Anthony Coppola
for payment*

Cornwall, NY 12518

TAX MAP NUMBER: SEC. 45, BLOCK 1, LOT 39
SEC. _____, BLOCK _____, LOT _____
SEC. _____, BLOCK _____, LOT _____

PUBLIC HEARING DATE (IF KNOWN): _____

THIS PUBLIC HEARING IS BEING REQUESTED BY:

NEW WINDSOR PLANNING BOARD:

SITE PLAN & SUBDIVISIONS:

(LIST WILL CONSIST OF ABUTTING
PROPERTY OWNERS AND ACROSS ANY STREET)

☒
YES

~~SPECIAL PERMIT ONLY:~~

~~(LIST WILL CONSIST OF ALL PROPERTY
OWNERS WITHIN 500 FEET)~~

~~YES~~

~~AGRICULTURAL DISTRICT:~~

~~(LIST WILL CONSIST OF ALL PROPERTY OWNERS
WITHIN THE AG DIST. WHICH IS WITHIN 500'
OF SITE PLAN OR SUBDIVISION PROJECT)~~

~~YES~~

NEW WINDSOR ZONING BOARD:

~~(LIST WILL CONSIST OF ALL PROPERTY
OWNERS WITHIN 500 FEET)~~

~~YES~~

AMOUNT OF DEPOSIT \$ _____ TOTAL CHARGE \$ _____

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on August 23rd 2000 at 7:30 P.M. on the approval of the

proposed Site Plan (Subdivision of Lands)*

(Site Plan)* OF Ben Harris commercial building (Sec 45 Blk 1 Lot 39)

located on the east side of Route 32, south of the Newburgh Pork Store 327 Route 32 (Windsor Highway)

Map of the ~~(Subdivision of Lands)~~ (Site Plan)* is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, N.Y. prior to the Public Hearing.

Dated: 7/26/00

By Order of

TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr.

Chairman

NOTES TO APPLICANT:

- 1). *Select Applicable Item.
- 2). A completed copy of this Notice must be approved prior to publication in The Sentinel.
- 3). The cost and responsibility for publication of this Notice is fully the Applicants.

RESULTS OF B. MEETING OF: July 3, 2000

PROJECT: Ben Harris S.P. P.B.# 00-11

LEAD AGENCY:

NEGATIVE DEC:

1. AUTHORIZE COORD LETTER: Y ☒ N ☐
2. TAKE LEAD AGENCY: Y ☐ N ☐

M) ☐ S) ☐ VOTE: A ☐ N ☐
CARRIED: YES ☐ NO ☐

M) B S) LL VOTE: A 5 NO NO
CARRIED: YES ☒ NO ☐

WAIVE PUBLIC HEARING: M) LN S) LL VOTE: A 5 NO NO WAIVED: Y ☐ N ☒
SCHEDULE P.H. Y ☒ N ☐

SEND TO O.C. PLANNING: Y ☐

SEND TO DEPT. OF TRANSPORTATION: Y ☐

REFER TO Z.B.A.: M) ☐ S) ☐ VOTE: A ☐ N ☐

RETURN TO WORK SHOP: YES ☐ NO ☐

APPROVAL:

M) ☐ S) ☐ VOTE: A ☐ N ☐ APPROVED: _____

M) ☐ S) ☐ VOTE: A ☐ N ☐ APPROVED CONDITIONALLY: _____

NEED NEW PLANS: Y ☒ N ☐

DISCUSSION/APPROVAL CONDITIONS:

<u>Mark to work out drainage on property</u>
<u>Need fence on retaining wall</u>
<u>Need D.O.T. for curb cut.</u>
<u>Need fence in back for screening + landscaping of same</u>
<u>Check type of retaining wall for enough room</u>
<u>Lighting in rear of property</u>

BENJAMIN HARRIS SITE PLAN (00-11)

Mr. Mario Salpepi appeared before the board for this proposal.

MR. PETRO: Now, this application proposes construction of a two story 4,976 square foot commercial building on the existing vacant lot. Plan was reviewed on a concept basis only. Okay, Mr. Salpepi.

MR. SALPEPI: Okay, very quickly, you know the site, pitches pretty steeply down towards the back, there's an existing drainage easement along the back, what we're proposing--

MR. LANDER: Let's back up a little bit, where is the location, we have Route 32?

MR. SALPEPI: Right on Route 32 next door to the Newburgh Pork Store, I'm not good with the area, it's a vacant lot, I guess it's overgrown, slopes back downhill.

MR. LUCAS: South of the Pork Store?

MR. PETRO: Next to it.

MR. LANDER: There's a big hole in the ground there.

MR. SALPEPI: South of the Pork Store, yeah, so it's a two story building, we're going to set it right in the middle of the hill, the first floor will be accessible from the front, the lower level will be accessible from the back, both accessible to grade. What it required is 34 spaces, we provided that, there's two handicapped spaces required, we put one in the front, one in the back.

MR. SALPEPI: Isn't this lot a substandard lot with the frontage, isn't there a problem with frontage, the width on the front, isn't that going to need zoning?

MR. EDSALL: Well, consistent with the previous cases that we have looked at and my comments note that for existing lots, as long as they're using a use group

that's the lowest requirement in the zone, we call it a pre-existing non-conforming lot. If they look to use a use that has a higher demand in the bulk table, then they would have a problem. In this particular case, they're using it for the lowest bulk requirement so I'm asking them to have the bulk table identify those items as pre-existing non-conforming.

MR. PETRO: How are you going to get to the parking in the rear and maintain a ten percent slope?

MR. SALPEPI: We should be pretty accurate with, we come through the front parking lot and go to the left side of the building, it would be on the drawing and to the back in which case we'd turn around and come back out the same way.

MR. PETRO: But you're dropping probably 11, 12 feet, aren't you?

MR. EDSALL: Jim, it's from basically 274 up by what they're calling catch basin one down to 268 at the bottom of the slope and it's around a 9.2 percent slope. What they have done, if you look on the plan on the left, there's a retaining wall along the property line and that's how they're filling up against the retaining wall to make their grade, they're forcing the grades to make it match the 9.

MR. PETRO: Taking it right from the front, not just the driveway area, you're going to slope the whole thing?

MR. EDSALL: And it works, if you look on the right of the building, they have created a steep slope, whereas on the left, they put a retaining wall and created a 9 percent slope.

MR. LANDER: Now, does the Town have a drainage easement behind this lot?

MR. EDSALL: We sure do and if you look at my one comment that I note that I do want to review under 2C of my comments what exact improvements as to what the detail for connection or sheet discharge should be so

that's something that I am going to have to coordinate with either Anthony or Mario.

MR. LANDER: You show curb work in the back, you're going to keep all the water contained in here in this lot in the catch basin and dump it out into these ten by ten beds you have?

MR. SALPEPI: Yes, I'm not a hundred percent sure on how the easement works, if there's any piping to connect to or catch basins to connect to back there.

MR. LANDER: There's just a drainage easement back there.

MR. EDSALL: There's piping back there, we have just completed under Community Development block grant a drainage improvement parallel to Continental in the back of the properties, but it changes as it goes through the yards so I'm not sure what's behind here, I'm not sure we're going to want to have the type discharge they show so ultimately we'll have to work with them. I may look for them to take it down and have seepage pits with overflow into the Town systems.

MR. LANDER: Did they take that from behind the old Reis building and the diner?

MR. EDSALL: It goes up quite a distance, yeah, I'm not sure, I don't recall where it stops.

MR. PETRO: Definitely goes passed the diner.

MR. LANDER: Dead ends at Pat Catanzaro's because the fella that's there never gave the Town an easement.

MR. BABCOCK: It actually at the back of Catanzaro's, it makes a right-hand turn and goes down Continental.

MR. LANDER: Because I know it didn't go any further than his property north.

MR. PETRO: We're not going to need a height variance on the north side.

MR. EDSALL: Not according to the height number that they're showing.

MR. PETRO: Where are you taking the height measurement from, it's going to be sloping down?

MR. EDSALL: It's an average height, so you'd actually end up taking the front and rear height and averaging it.

MR. PETRO: You're only 25 feet off the line, what is it, one on one or one to six?

MR. EDSALL: It's one to one, so they're allowed.

MR. SALPEPI: We're within the 30 foot setback there.

MR. PETRO: How high is the retaining wall?

MR. SALPEPI: It varies, it goes up to somewhere between four, four to five feet at the highest point.

MR. PETRO: Chain link fence on the top of it?

MR. SALPEPI: Yes.

MR. ARGENIO: I don't understand, retaining wall is existing?

MR. SALPEPI: No, proposed.

MR. ARGENIO: I thought somebody said it was existing.

MR. BABCOCK: On the north side of the plan on the second side, the right-hand side, it shows 30 foot setback to the back corner of the building to the property line, the front is 30 foot point 7, so he's right on with the 30 foot, that's what he's asking for exactly.

MR. PETRO: Obviously, though, the building dips way down, but you're going to take an average if you want to get technical in the back, it would be, but we'll work with that.

MR. BABCOCK: That's correct.

MR. SALPEPI: We'll be lower than that, we're allowed 30 feet, I assume we'll be lower than that.

MR. PETRO: This curb cut isn't there so you're going to the state for that, correct?

MR. SALPEPI: Yes.

MR. PETRO: Authorize lead agency coordination letter to begin the SEQRA process. Myra, can you take care of that?

MS. MASON: Yes.

MR. PETRO: Do that in the form of a motion or just ask her to do that? Can I have a motion to authorize a lead agency letter?

MR. LANDER: So moved.

MR. LUCAS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board authorize lead agency coordination letter for the Ben Harris site plan.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: Again, we have highway approval on 7/11/2000, fire approval on 7/11/2000 and I think that we're going to have a public hearing for this, that would be my input, unless somebody wants to argue that point. So probably schedule that now and he can clear up some of these minor details with Mark and take one of these papers with you and clean up some of the housekeeping notes.

MR. LUCAS: Jim, is that residential?

MR. BABCOCK: That's correct, it is. Mr. Chairman, one other thing that typically runs between the residential and commercial lines here is a fence, I'm not sure that the fence comes this far, but I think it does, I don't know whether it's an existing fence, what we have done in the past with the other buildings there is make sure that if there's a fence, that fence is on their property, so it can be maintained.

MR. PETRO: Anything on the plan now?

MR. BABCOCK: I don't see anything.

MR. PETRO: Could we add something there for the public hearing?

MR. SALPEPI: Okay.

MR. ARGENIO: I'd like to also make a very brief comment, Mark's comment number 2D should be the engineer's comments number 2D should be looked at very, very closely, I do not believe that you can construct a modular wall with the proper geogrid re-enforcement this close to the property line.

MR. PETRO: Well, the geogrid would be coming in towards the building.

MR. EDSALL: It goes out.

MR. ARGENIO: Goes out towards the property.

MR. EDSALL: You always go toward the direction of the fill and they'd be--

MR. SALPEPI: Towards the property, in this case, it would be, geogrid would be away from the wall, so it would be towards the property line.

MR. PETRO: You're cutting down.

MR. SALPEPI: We're cutting in.

MR. PETRO: You can't put a geogrid, you're right, it's impossible.

MR. ARGENIO: It's too close.

MR. EDSALL: They may have to change the type of retaining wall.

MR. ARGENIO: Look at that very closely, review it because even if you have a four foot cut, you're still, even if your geogrid is four foot, you're still going to disturb six or seven feet, you're going to be sitting in the other guy's lot by the time you're done, your neighbor, so you should look closely at that.

MR. PETRO: That's a good point.

MR. LANDER: And the fence in the back would be for screening so the headlights don't interrupt.

MR. PETRO: Might have to change that to a board retaining wall. The lighting in the rear of this site is very important because we have a residential behind you. So you should--is there curves anywhere or how did you show us the lighting? I see you have site lighting pole.

MR. SALPEPI: We haven't shown the lines yet. Right now, we're showing a wall pack on each corner of the building, on the building itself, and we show one pole which will obviously face out, it will distribute something like this.

MR. PETRO: Even the wall packs, show us where they're going with some curves.

MR. PETRO: Also along the fence that the building inspector was talking about, we should have some landscaping, there's nothing on the plan at this time, I didn't see anything along the property line, follow me?

MR. SALPEPI: Okay.

MR. LANDER: Show some landscaping in the front.

MR. SALPEPI: Right now, we have a little bit shown in front of the building, we don't show much, we'll add it to the back.

MR. LUCAS: Didn't we have a problem with that in the last few of them because we were worried.

MR. LANDER: Well, you have to have something low.

MR. PETRO: What's going to be behind the slope? It really pitches down. Is this going to be seeded?

MR. SALPEPI: Yes, that's what we're proposing at this time, just some planting where it gets flat up top.

MR. PETRO: Can I have a motion to hold the public hearing?

MR. LANDER: So moved.

MR. LUCAS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board have a public hearing for the Ben Harris site plan.

MR. LUCAS: There's not a flag pole, I know it's not required, it would be really nice to have one, it's just a comment.

MR. LANDER: You want a flag, too?

MR. PETRO: This is a motion for public hearing, are you with us, Mike?

MR. LUCAS: Yes.

MR. PETRO: Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE

MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. LANDER: Mario, the sidewalk in front of the building, how wide is the sidewalk?

MR. SALPEPI: Five feet is shown with a wider entrance going into the building.

MR. LANDER: Only reason I ask that because of the bumper of the car, the tires come up, using that sidewalk as a bumper, front ends overhang, now we don't have five feet anymore, so we're going to have to allow for that, bumper blocks or make the sidewalk wider.

MR. SALPEPI: Okay.

MR. PETRO: You have enough to go on, I think it makes a nice plan for the public hearing.

MR. BABCOCK: Maybe I should suggest that if the board members happen to be in that area sometime between now and the public hearing, you'd take a look.

MR. EDSALL: We'll that after we figure out what we're going to do with the drainage but we'll coordinate the two.



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JAMES M. FARR, P.E.

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and PENNSYLVANIA

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- ☐ **Regional Office**
507 Broad Street
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(570) 296-2765
e-mail: mhepa@ptd.net


TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: BEN HARRIS SITE PLAN
PROJECT LOCATION: NYS ROUTE 32
SECTION 45 – BLOCK 1 – LOT 39
PROJECT NUMBER: 00-11
DATE: 12 JULY 2000
DESCRIPTION: THE APPLICATION PROPOSES THE
CONSTRUCTION OF A TWO-STORY 4976 S.F.
COMMERCIAL BUILDING ON THE EXISTING
VACANT LOT. THE PLAN WAS REVIEWED ON A
CONCEPT BASIS ONLY.

1. The project is located in the "Design Shopping" (C) Zoning District of the Town. The "required" bulk information on the plan is correct for the zone and uses. Uses A1-A4 of the tables are proposed. The site meets the minimum requirements with the exception of two pre-existing non-conformances for the existing lot. The bulk table should be corrected as follows:
 - a. The area and lot width should be asterisked and noted as "Pre-existing Non-Conformances".
 - b. A measured value should be provided for the actual lot width. It is measured at the 60 ft. front yard setback.
 - c. The building height should be noted or indicated as equal to or less than 30 ft.
2. I have performed a preliminary review of the plan and have the following comments:
 - a. Adequate parking has been provided and the dimensions appear to comply with Town standards.
 - b. The location plan should be a partial copy of the tax maps, for clarity with adjoining lots.

- c. A review must be made relative to the adjoining Town drainage facilities to determine the appropriate collection and discharge detail for the site stormwater.
 - d. The architect should verify that proper space exists to construct the modular retaining wall and fence within the 4 ft. +/- area indicated on the plan.
 - e. The detail for handicapped parking spaces should note that all striping should be blue, and the signs requirements should be indicated.
 - f. The Board should determine if a lighting isolux plan will be required for this site.
 - g. A complete landscaping design should be submitted, with schedule. The Board may wish to provide some input at this time.
3. The Board may wish to authorize a Lead Agency coordination letter (NYSDOT is also involved), to begin the SEQRA process.
4. The Board should determine if a Public Hearing will be required, per its discretionary judgment under Paragraph 48-19.C of the Zoning Law.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW00-11-12Jul00.doc

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(814) 563-4611

RECEIPT
#525-2000

07/10/2000

Coppola, Anthony J.

Received \$ 100.00 for Planning Board Fees, on 07/10/2000. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Dorothy H. Hansen
Town Clerk

CR# 11925

P.B. # 00-11

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/10/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 0-11
NAME: BENJAMIN HARRIS ROUTE 32 SITE PLAN
APPLICANT: HARRIS, BEN

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
07/06/2000	REC. CK. #16511 HARRIS	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00

Susan Zappala

From Benjamin Harris



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, **HIGHWAY**

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

RECEIVED

AUG 09 2000

PLANNING BOARD FILE NUMBER:

00-11

N.W. HIGHWAY DEPT.

DATE PLAN RECEIVED:

RECEIVED

AUG - 8 2000

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved ☒

disapproved ☐

If disapproved, please list reason _____

Doesn't Apply to Highway

[Signature] *[Signature]* 8/22/2000
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: August 16, 2000

SUBJECT: Ben Harris

Planning Board Reference Number: PB-00-11

Dated: 8 August 2000

Fire Prevention Reference Number: FPS-00-031

A review of the above referenced site plan was conducted on
15 August 2000

This site plan is acceptable.

Plans Dated: 8 August 2000

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Rodgers', written over a horizontal line.

Robert F. Rodgers
Fire Inspector



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
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Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor

P/B # 00-11

WORK SESSION DATE: 2 AUG 00

APPLICANT RESUB.
REQUIRED:

REAPPEARANCE AT W/S REQUESTED: No

new plan

PROJECT NAME: Per Harris S/P

PROJECT STATUS: NEW _____ OLD X

REPRESENTATIVE PRESENT: Mario (AJC)

MUNIC REPS PRESENT: BLDG INSP. _____
FIRE INSP. X
ENGINEER X
PLANNER _____
P/B CHMN. _____
OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

4 ft fence side - (does fence exist @ rear now)

fence/plantings rear? see drainage

bulk table fix width

add detail/sign only

need 6 copies shot EAF + SP-1 for YA cond.

CLOSING STATUS

- ____ Set for agenda
____ possible agenda item
____ Discussion item for agenda
____ ZBA referral on agenda

pbwsform 10MJE98

PH sched for 8/23



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WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
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☐ Branch Office
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PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

1-3

TOWN/VILLAGE OF New Windsor

P/B # _____

WORK SESSION DATE: 21 June 2000

APPLICANT RESUB.
REQUIRED: Full Plan

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: Ben Harris

PROJECT STATUS: NEW _____ OLD _____

REPRESENTATIVE PRESENT: Anthony Capella

MUNIC REPS PRESENT: BLDG INSP. _____
FIRE INSP. X _____
ENGINEER X _____
PLANNER _____
P/B CHMN. _____
OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- next to Port Store
- MHE → Continental Drainage Plans & talk to A.J.
- C zone
- need Grading Plan
- driveway "end" - match to bldg
- rear landscape? - or fence.
- disc sign & regs
- curb cut - get detailed A/B
- lighting
- suggest landscape pocket @ right

CLOSING STATUS

Set for agenda
possible agenda item
Discussion item for agenda
ZBA referral on agenda

pbwsform 10MJE98

INTER-OFFICE MEMORANDUM

TO: New Windsor Planning Board

FROM: Town Fire Inspector

DATE: July 11, 2000

SUBJECT: Ben Harris Site Plan

Planning Board Reference Number: PB-00-11

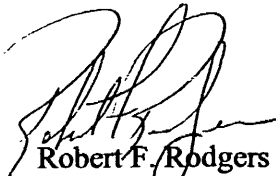
Dated: 28 June 2000

Fire Prevention Reference Number: FPS-00-027

A review of the above referenced subject site plan was conducted on 10 July 2000.

This site plan is acceptable.

Plans Dated: 5 July 2000



Robert F. Rodgers
Fire Inspector

RFR/dh



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, ~~HIGHWAY~~

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 00-11

DATE PLAN RECEIVED: _____

RECEIVED

JUN 28 2000

RECEIVED

JUL 10 2000

N.W. HIGHWAY DEPT.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
_____ for the building or subdivision of
_____ has been
reviewed by me and is approved _____,
disapproved _____.

If disapproved, please list reason _____

Does not Apply to Town of New Windsor Highway

Henry Hall 7-10-00
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

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WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
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PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF

New Windsor

P/B #

003-11

WORK SESSION DATE:

5 July 2000

APPLICANT RESUB.

REQUIRED:

Full App

REAPPEARANCE AT W/S REQUESTED:

Not seen

PROJECT NAME:

Harris

PROJECT STATUS: NEW X OLD

REPRESENTATIVE PRESENT:

Anthony C.

MUNIC REPS PRESENT: BLDG INSP.

FIRE INSP.

Rich.

ENGINEER

X

PLANNER

P/B CHMN.

OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- Continental - need info from MHE

- still one isolex; planning sched;

- Looks good for submittal to P/B

CLOSING STATUS

Set for agenda

X possible agenda item

Discussion item for agenda

ZBA referral on agenda

pbwsform 10MJ98



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WILLIAM J. HAUSER, P.E.
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PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor P/B # 00-11
WORK SESSION DATE: 18 May 2000 APPLICANT RESUB.
REAPPEARANCE AT W/S REQUESTED: Yes REQUIRED: later
PROJECT NAME: Be Harris
PROJECT STATUS: NEW X OLD _____
REPRESENTATIVE PRESENT: Josh, Anthony Coppalle
MUNIC REPS PRESENT: BLDG INSP. _____
FIRE INSP. _____
ENGINEER X _____
PLANNER _____
P/B CHMN. _____
OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- At 32 next to Park Store & Jade Alshu
- C zone 45-1-39 look for what
exists in Continental
- reserve area @ rear of Drainage
store for drainage?

CLOSING STATUS

- ☒ Set for agenda
- ☒ possible agenda item
- ☒ Discussion item for agenda
- ☒ ZBA referral on agenda

pbwsform 10MJE98

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision _____ Lot Line Change _____ Site Plan ☒ Special Permit _____

Tax Map Designation: Sec. 45 Block 1 Lot 39

1. Name of Project Route 32 Site Plan

2. Owner of Record Ben Harris Phone 562-3800

Address: P.O. Box 780, Cornwall, NY 12518
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant (same as above) Phone _____

Address: _____
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Anthony J. Coppola, Architect Phone 561-3559

Address: 375 Third Street, Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

Address: _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Anthony J. Coppola, Architect 561-3559
(Name) (Phone)

7. Project Location:

On the East side of Route 32 _____ feet
(Direction) (Street) (No.)
_____ of _____
(Direction) (Street)

8. Project Data: Acreage .7 Zone C School Dist. City of Newburgh

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached AAgricultural Data Statement.**

10. Description of Project: (Use, Size, Number of Lots, etc.) _____
Proposed building is for a two story retail office building.

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no X

12. Has a Special Permit previously been granted for this property? yes _____ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

5TH DAY OF July 2000

Marie B. Leissler
NOTARY PUBLIC

B. Harris
APPLICANT'S SIGNATURE
BENJAMIN HARRIS
Please Print Applicant's Name as Signed

TOWN USE ~~RECEIVED~~

JUN 28 2000 7/6/00
DATE APPLICATION RECEIVED

00-11
APPLICATION NUMBER

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD


Ben Harris, deposes and says that he resides
(OWNER)
at P.O. Box 780, Cornwall, NY 12518 in the County of Orange
(OWNER'S ADDRESS)
and State of New York and that he is the owner of property tax map
(Sec. _____ Block _____ Lot _____)
designation number (Sec. 45 Block 1 Lot 39) which is the premises described in
the foregoing application and that he authorizes:

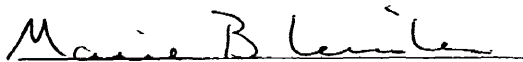
(Applicant Name & Address, if different from owner)

ANTHONY COPPOLA, ARCHITECT
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: 7-5-00


Owner's Signature


Witness' Signature

Applicant's Signature if different than owner

Representative's Signature

**THIS FORM CANNOT BE WITNESSED BY THE PERSON OR
REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED TO
REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.**

00-11

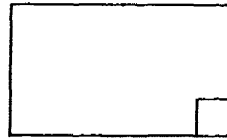
TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

1. ☒ Site Plan Title
2. ☒ Provide 4" wide X 2" high box **(IN THE LOWEST RIGHT CORNER OF THE PLAN)** for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

SAMPLE:



3. ☒ Applicant's Name(s)
4. ☒ Applicant's Address
5. ☒ Site Plan Preparer's Name
6. ☒ Site Plan Preparer's Address
7. ☒ Drawing Date
8. ☒ Revision Dates
9. ☒ Area Map Inset and Site Designation
10. ☒ Properties within 500' of site
11. ☒ Property Owners (Item #10)
12. ☒ Plot Plan
13. ☒ Scale (1" = 50' or lesser)
14. ☒ Metes and Bounds
15. ☒ Zoning Designation
16. ☒ North Arrow
17. _____ Abutting Property Owners (TO BE PROVIDED)
18. N/A Existing Building Locations
19. N/A Existing Paved Areas
20. N/A Existing Vegetation
21. ☒ Existing Access & Egress

00-11

PROPOSED IMPROVEMENTS

- | | | |
|-----|------------|---|
| 22. | <u>✓</u> | Landscaping |
| 23. | <u>✓</u> | Exterior Lighting |
| 24. | <u>✓</u> | Screening |
| 25. | <u>✓</u> | Access & Egress |
| 26. | <u>✓</u> | Parking Areas |
| 27. | <u>N/A</u> | Loading Areas |
| 28. | <u>✓</u> | Paving Details (Items 25 - 27) |
| 29. | <u>✓</u> | Curbing Locations |
| 30. | <u>✓</u> | Curbing through section |
| 31. | <u>✓</u> | Catch Basin Locations |
| 32. | <u>✓</u> | Catch Basin Through Section |
| 33. | <u>✓</u> | Storm Drainage |
| 34. | <u>✓</u> | Refuse Storage |
| 35. | <u>N/A</u> | Other Outdoor Storage |
| 36. | | Water Supply (TO BE PROVIDED) |
| 37. | | Sanitary Disposal System (TO BE PROVIDED) |
| 38. | <u>N/A</u> | Fire Hydrants |
| 39. | <u>✓</u> | Building Locations |
| 40. | <u>✓</u> | Building Setbacks |
| 41. | <u>✓</u> | Front Building Elevations |
| 42. | <u>✓</u> | Divisions of Occupancy |
| 43. | <u>✓</u> | Sign Details |
| 44. | <u>✓</u> | Bulk Table Inset |
| 45. | <u>✓</u> | Property Area (Nearest 100 sq. ft.) |
| 46. | <u>✓</u> | Building Coverage (sq. ft.) |
| 47. | <u>✓</u> | Building Coverage (% of total area) |
| 48. | <u>✓</u> | Pavement Coverage (sq. ft.) |
| 49. | <u>✓</u> | Pavement Coverage (% of total area) |
| 50. | <u>N/A</u> | Open Space (sq. ft.) |
| 51. | <u>N/A</u> | Open Space (% of total area) |
| 52. | <u>✓</u> | No. of parking spaces proposed |
| 53. | <u>✓</u> | No. of parking spaces required |

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, AIS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. ✓ Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.

55. ✓ A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leaser shall be notified of such farm operation with a copy of the following notification.

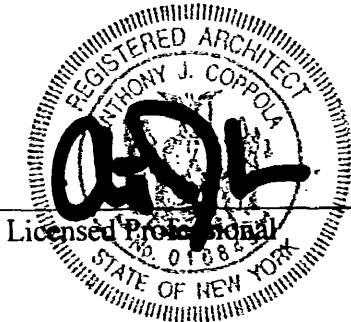
It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: _____



7/5/00
Date

00-11

Site Plan Notes:

- The proposed building is for a two story retail/office building, allowable under uses A1-A4 of the Town of New Windsor Zoning Ordinance. The proposed building will not be sprinklered.
- The project applicant is Ben Harris Realty, 190 Route 9W South, New Windsor, New York.
- All building signs shall conform to the Town of New Windsor sign ordinance Section 48-18H.
- All work completed within the D.O.T. Route 32 Right of Way shall require a work permit prior to the start of construction.
- Boundary and Topographical information from an original survey by Eustance and Horowitz, P.C. dated 1/12/88.

GENERAL NOTES

- The Contractor is expected to familiarize himself with the existing site before starting work. All dimensions shall be verified in the field before starting work. No drawings are to be scaled, use only dimensions given. Any other discrepancies shall be brought to the immediate attention of the Architect. Any existing structural deficiency uncovered during the course of construction shall be brought to the immediate attention of the Architect.
- All work shall be done by people skilled in their trades and shall conform to the N.Y. S. Uniform Building Code, and any other applicable state and local codes. All items shall be installed in strict conformance with the Manufacturer's requirements where applicable. Unauthorized alteration of any drawings bearing a registered Architect's seal is a violation of the N.Y. S. Education Law. The Contractor is responsible to obtain any required construction permits before starting work, and to schedule any required inspections with the building department.
- The contractor must notify The Underground Facilities Protective Organization (1-800-962-7962) at least two full working days prior to any excavation. Non-member utilities must be contacted separately.
- The contractor must determine the exact location, elevation and size of any existing underground utility before beginning construction. The contractor shall perform exploration excavations to locate existing underground utilities sufficient ahead of construction to permit making revisions as needed. The locations (horizontal and vertical) and size of underground utilities shall not be relied on as being exact or complete.
- Coordination: Coordinate scheduling, submittals, and Work of the various Sections of specifications to assure efficient and orderly sequence of installation of interdependent construction elements.
- The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures for coordinating all portions of the Work under the Contract unless Contract Documents and other specific information concerning these matters.
- Unless otherwise provided in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment, machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work, whether temporary or permanent and whether or incorporated or to be incorporated in the Work.
- The Contractor shall pay for all building permits and other fees necessary for the completion of the Work.
- The Contractor shall comply with and give all notices as required by laws, ordinances, rules, regulations, and orders of public authorities bearing on performance to Work. The Contractor shall promptly notify the Architect Owner if the Drawings and Specifications are observed by the Contractor to be at variance within.
- All layout and surveying work necessary to complete the scope or work shall be the responsibility of the contractor.

Drainage Schedule

Number	Type	Size	Top of Grate	Invert In	Invert Out
CB1	Catch Basin	2'-6" x 4'-0"	273.75	*	269.75

Landscaping Schedule:

Symbol	Name	Size	Quantity
A	Dwarf Alberta Spruce	3' to 4' tall	8
B	(3)Holly Bush Cluster	24" tall	7
C	Pin Oak	2" to 2 1/2" caliper	7
D	Japanese White Pine	5' to 6' tall	17

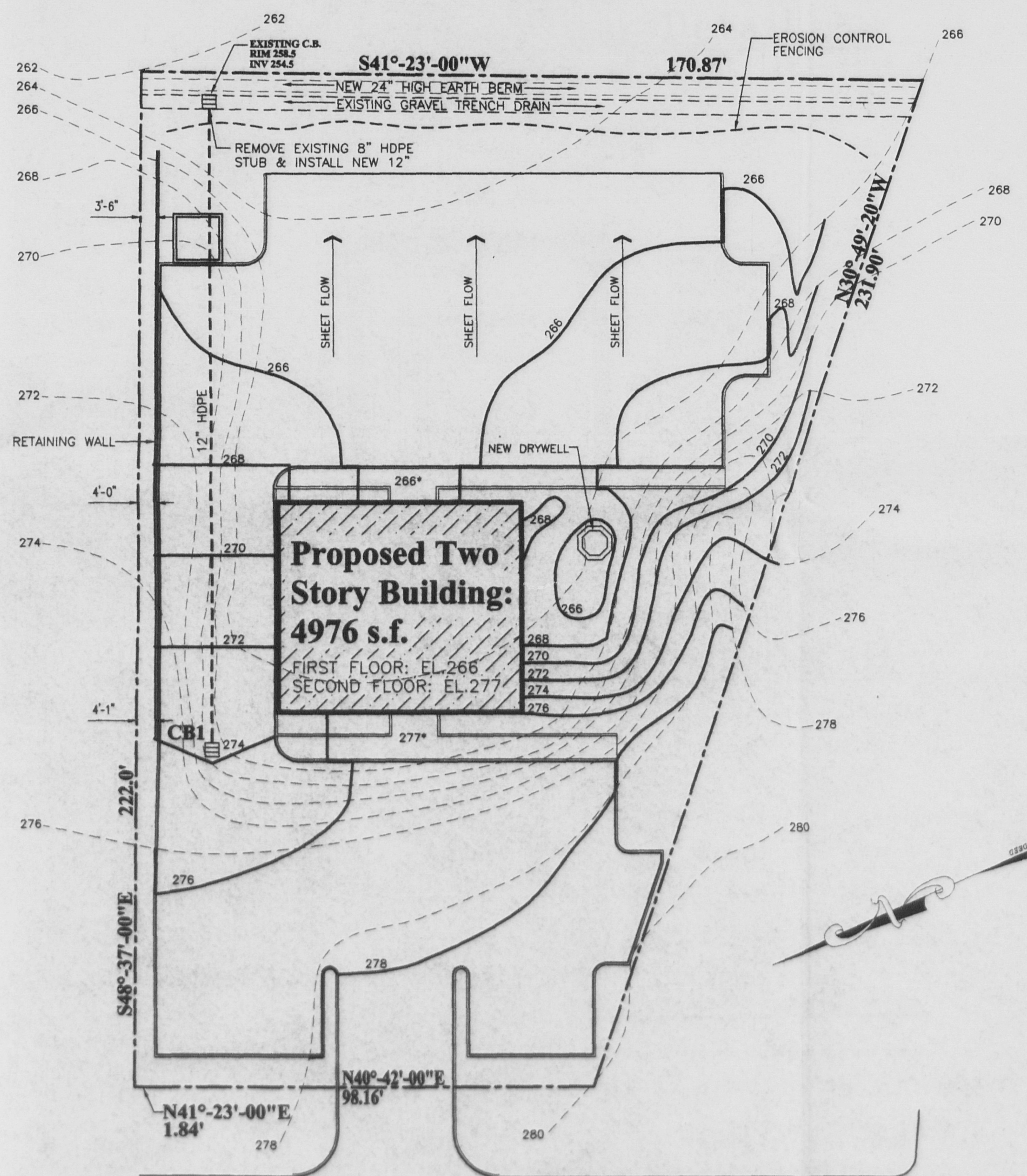
Legend

--- EXISTING CONTOURS
--- NEW CONTOURS
+ SPOT ELEVATIONS

Bulk Table Requirements for C Zoning District

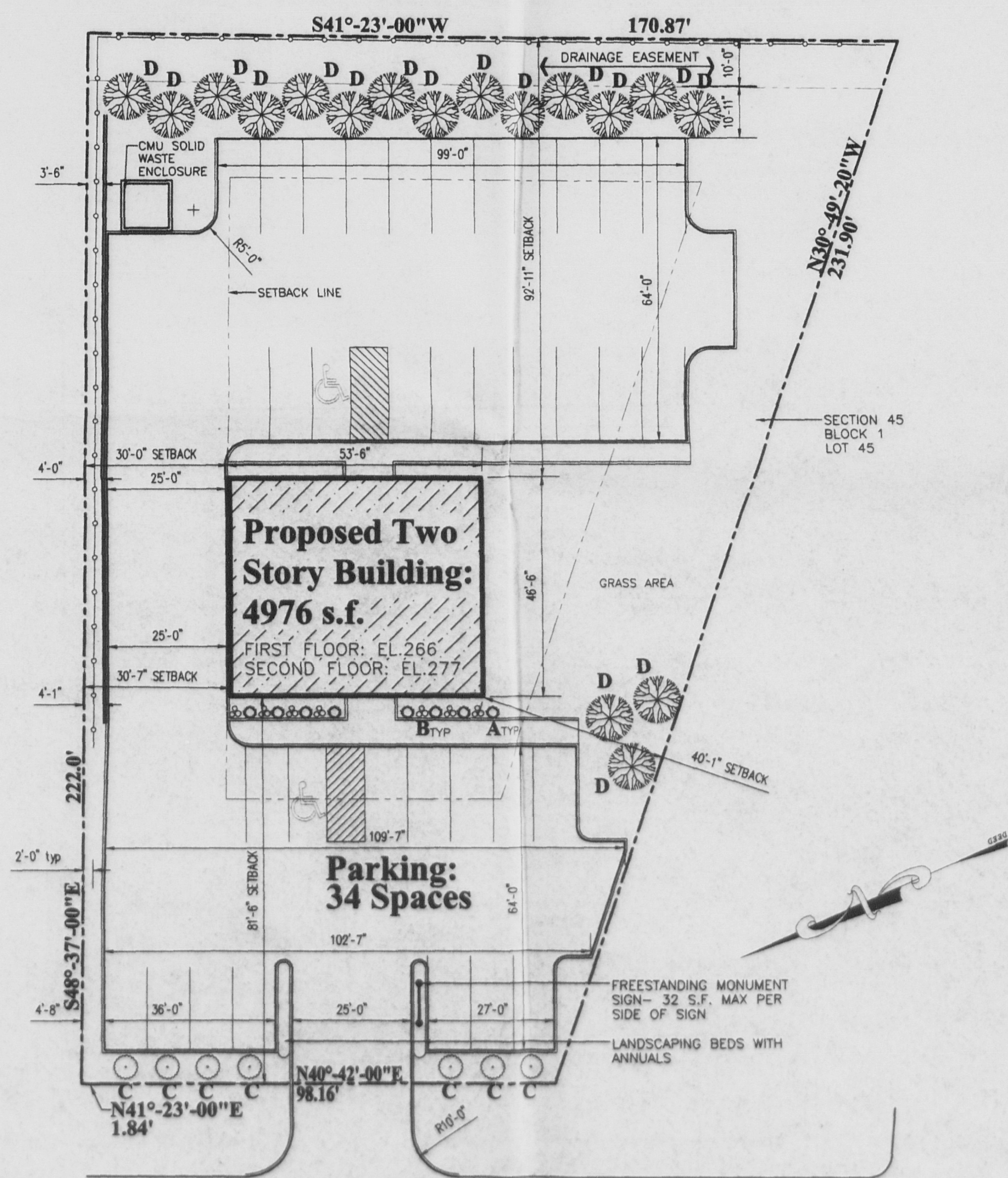
Requirements	Town of New Windsor, N.Y.	Required	Actual
Minimum Lot Size	40,000 s.f.	29,963 s.f.*	
Lot Width	200 feet	119'-3"*	
Front Yard Setback	60 feet	81 feet	
Rear Yard Setback	30 feet	93 feet	
Side Yard Setback	30 feet/ 70 feet combined	30 feet/ 70 feet combined	
Max. Building Height	12" per 12" to lot line(30'-0")	Less Than 30'-0"	
Required Street Frontage	NA	NA	
Floor Area Ratio	0.5	0.17	
Development Coverage	NA	NA	
Parking Space Size	9'-0" x 19'-0"	9'-0" x 19'-0"	
Required HC Parking	2	2	
Required Parking	1 space per 150 s.f. = 34	34	

* Pre-Existing, non conforming conditions.



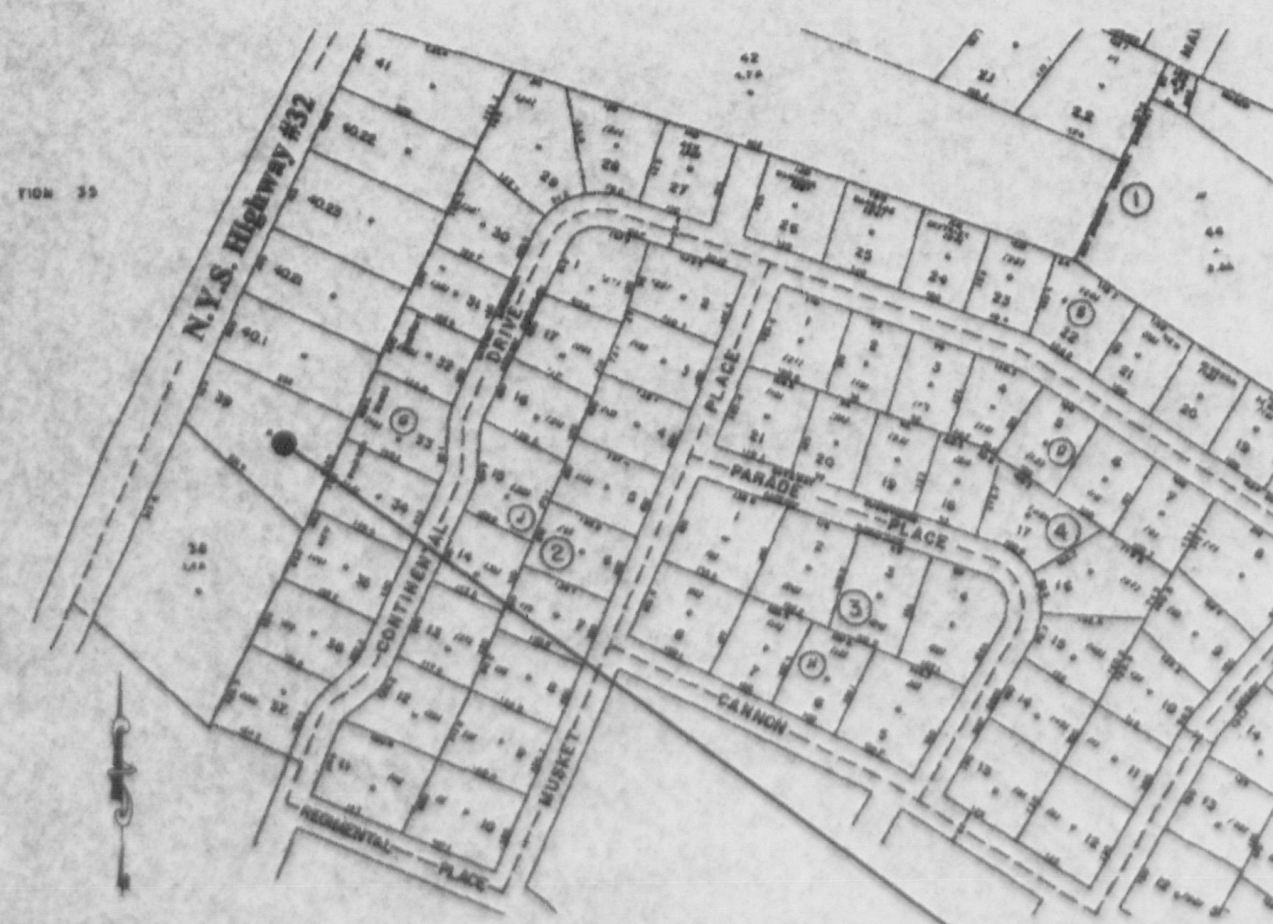
N.Y.S. ROUTE #32

2 Grading & Drainage Plan
SP1 Scale: 1"=20'-0"



N.Y.S. ROUTE #32

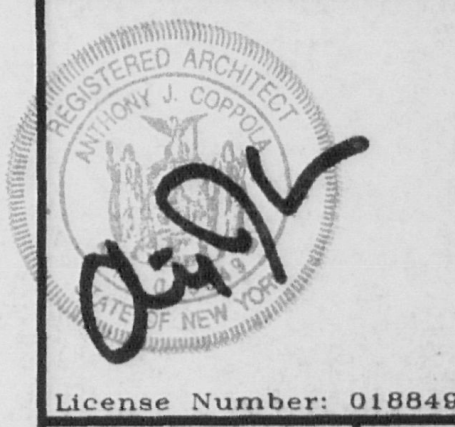
3 Site Plan
SP1 Scale: 1"=20'-0"



Site Location

1 Location Map
SP1 NTS

Anthony J. Coppola
Design, Architecture and Planning
375 Third St., Newburgh, N.Y. 12550
Tel: 914-561-3559
Fax: 914-561-2051
Email: ajc@frontiercomm.net
Website: http://nyfrontiercomm.net/~ajcarch



Proposed Site Plan for
Ben Harris
New Windsor, New York

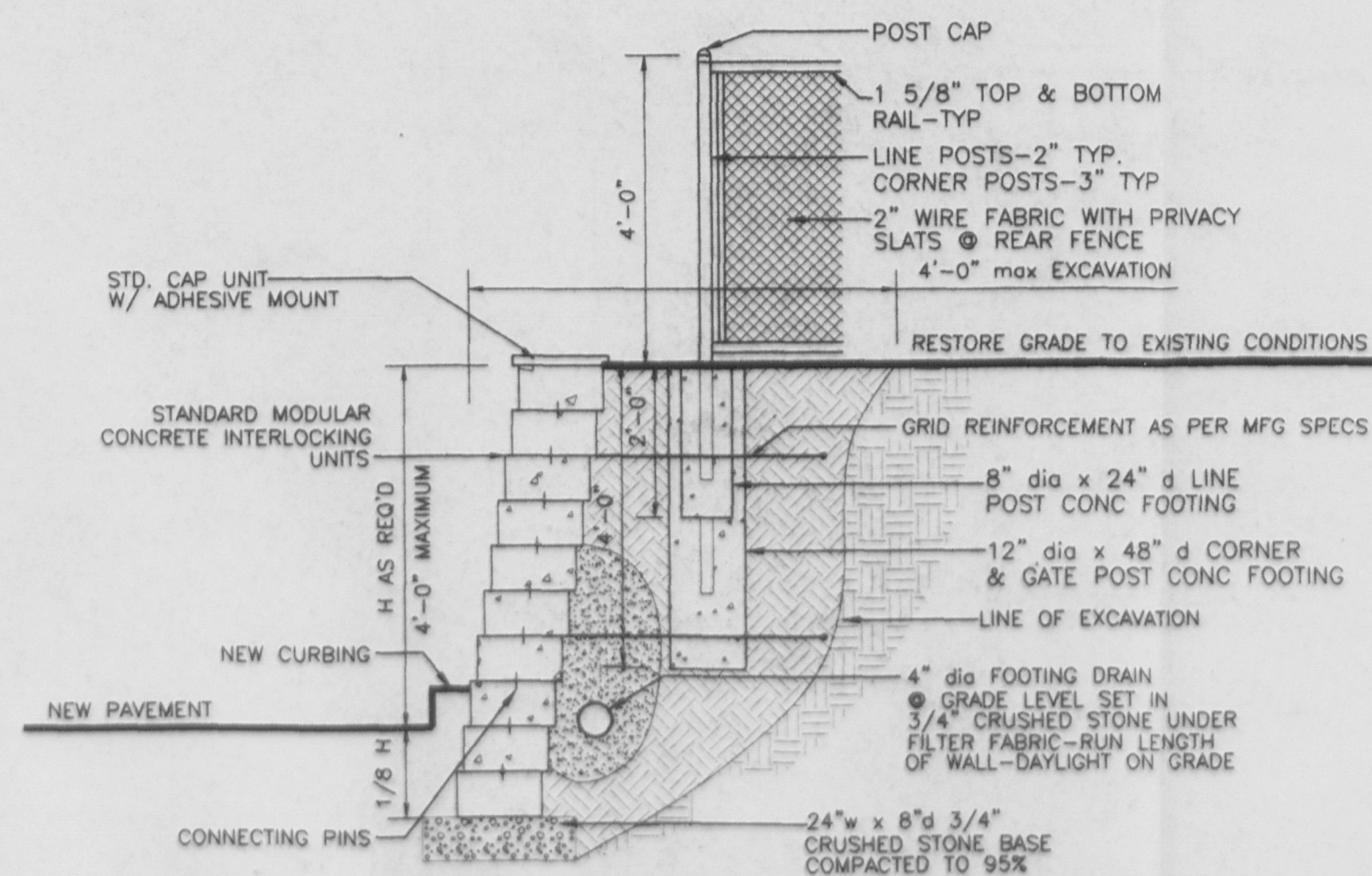
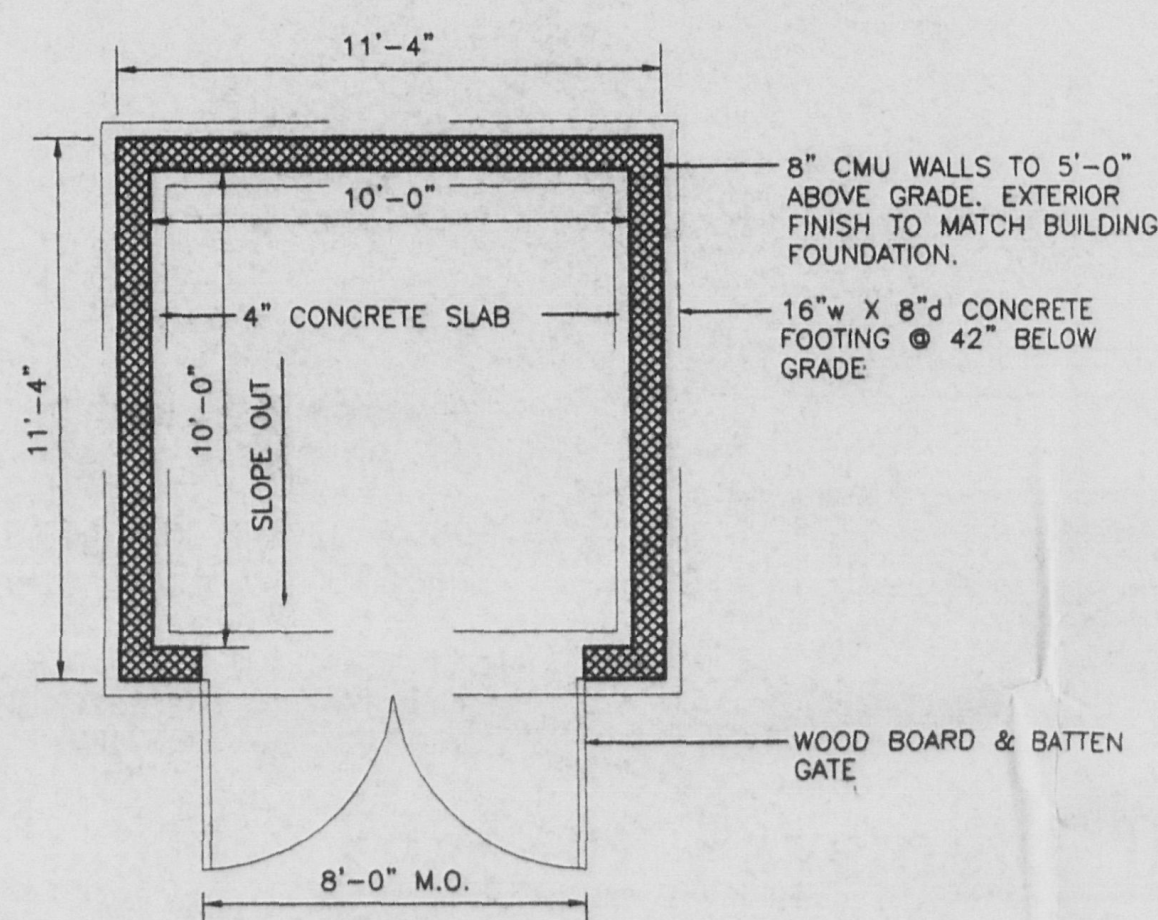
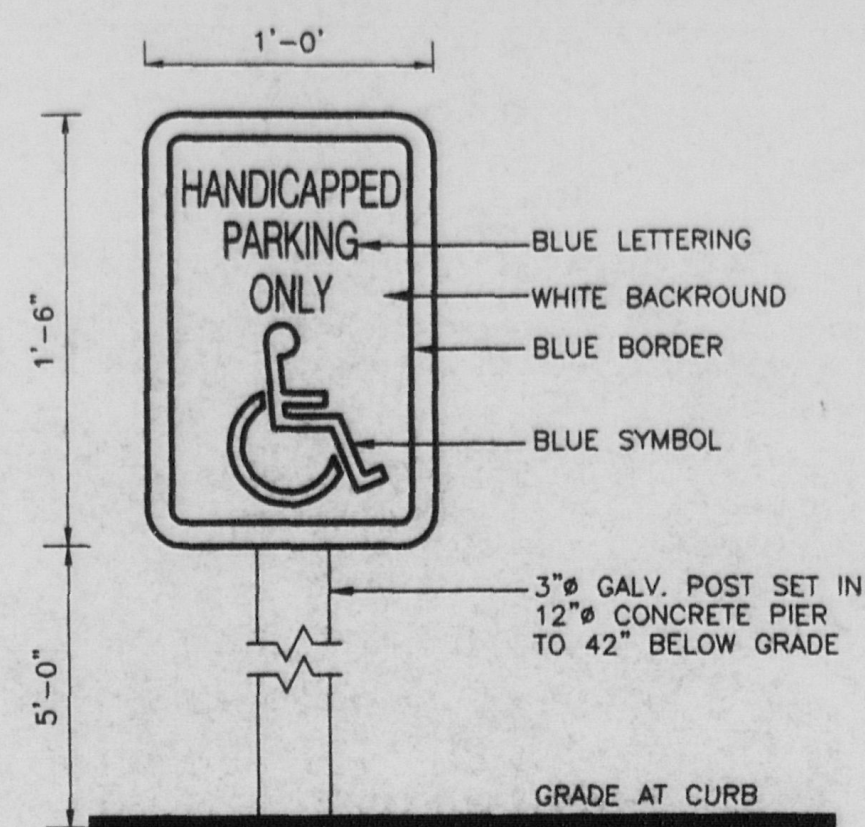
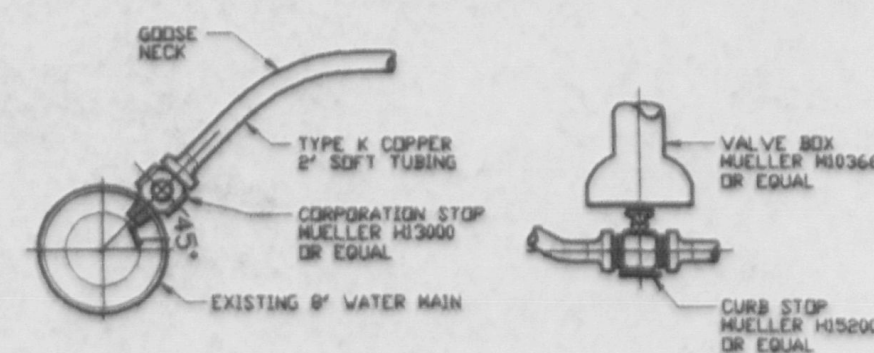
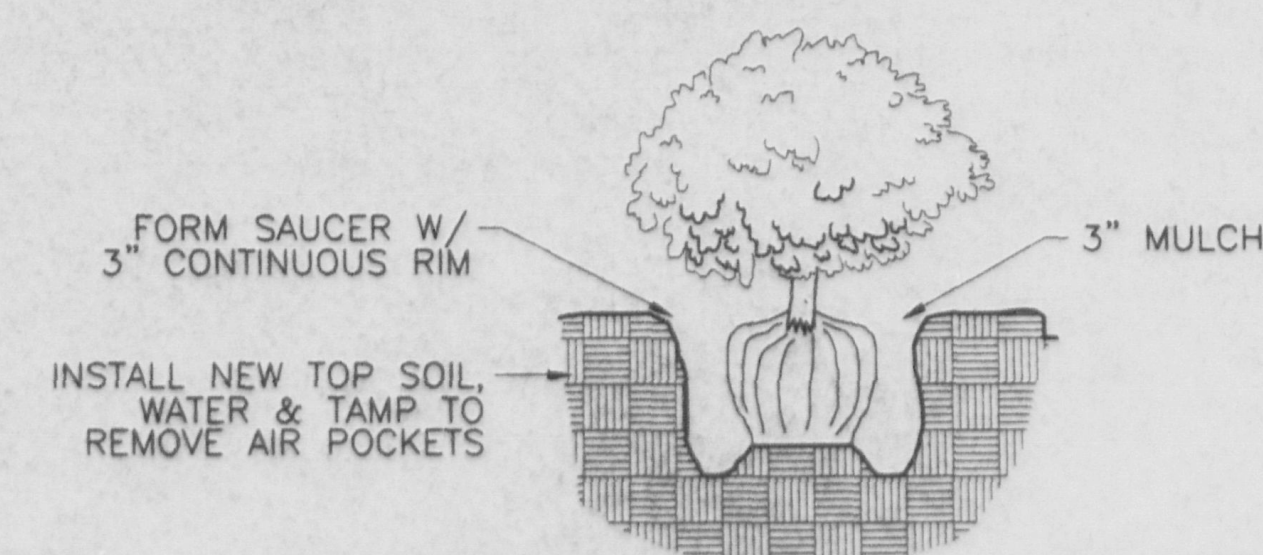
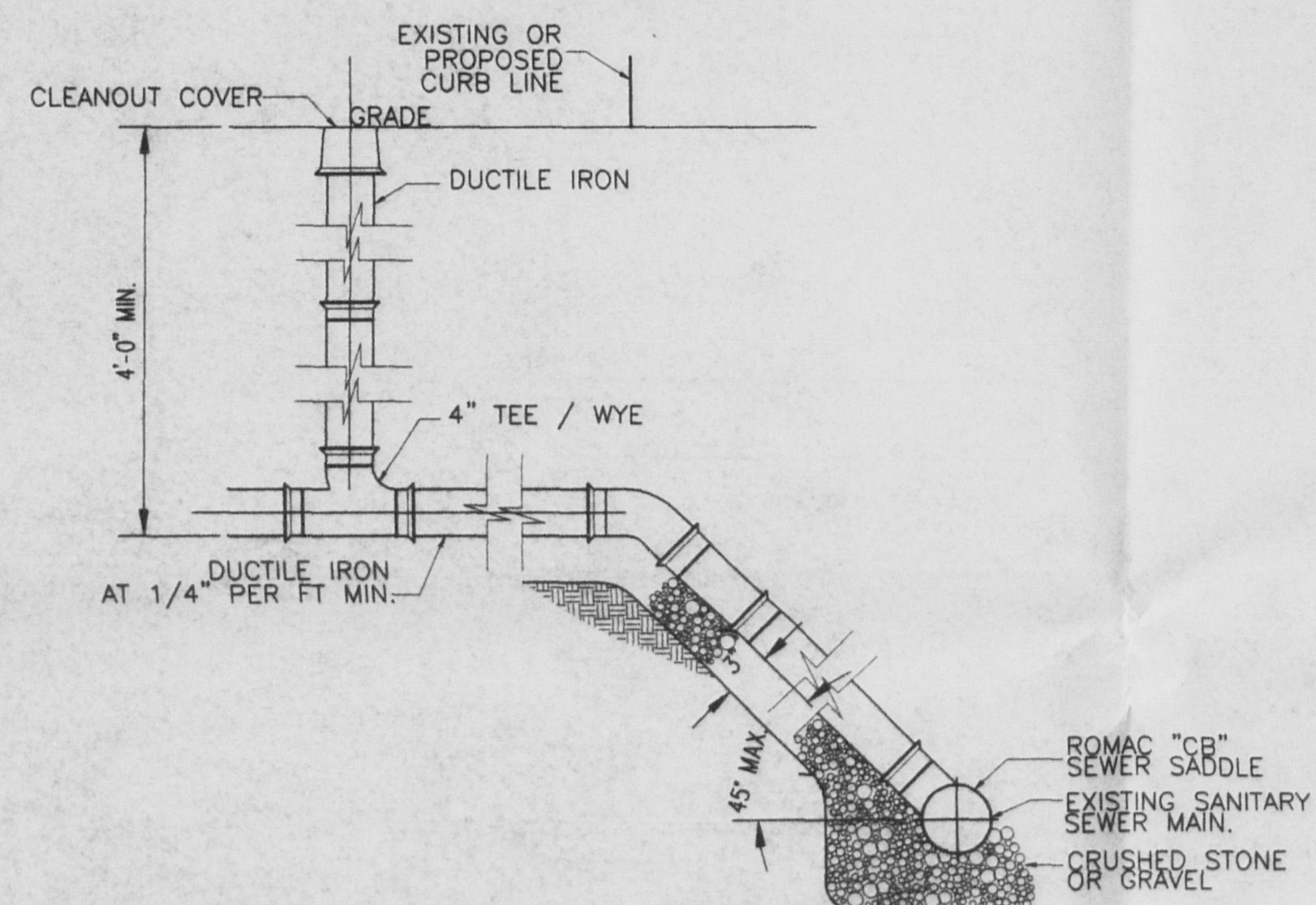
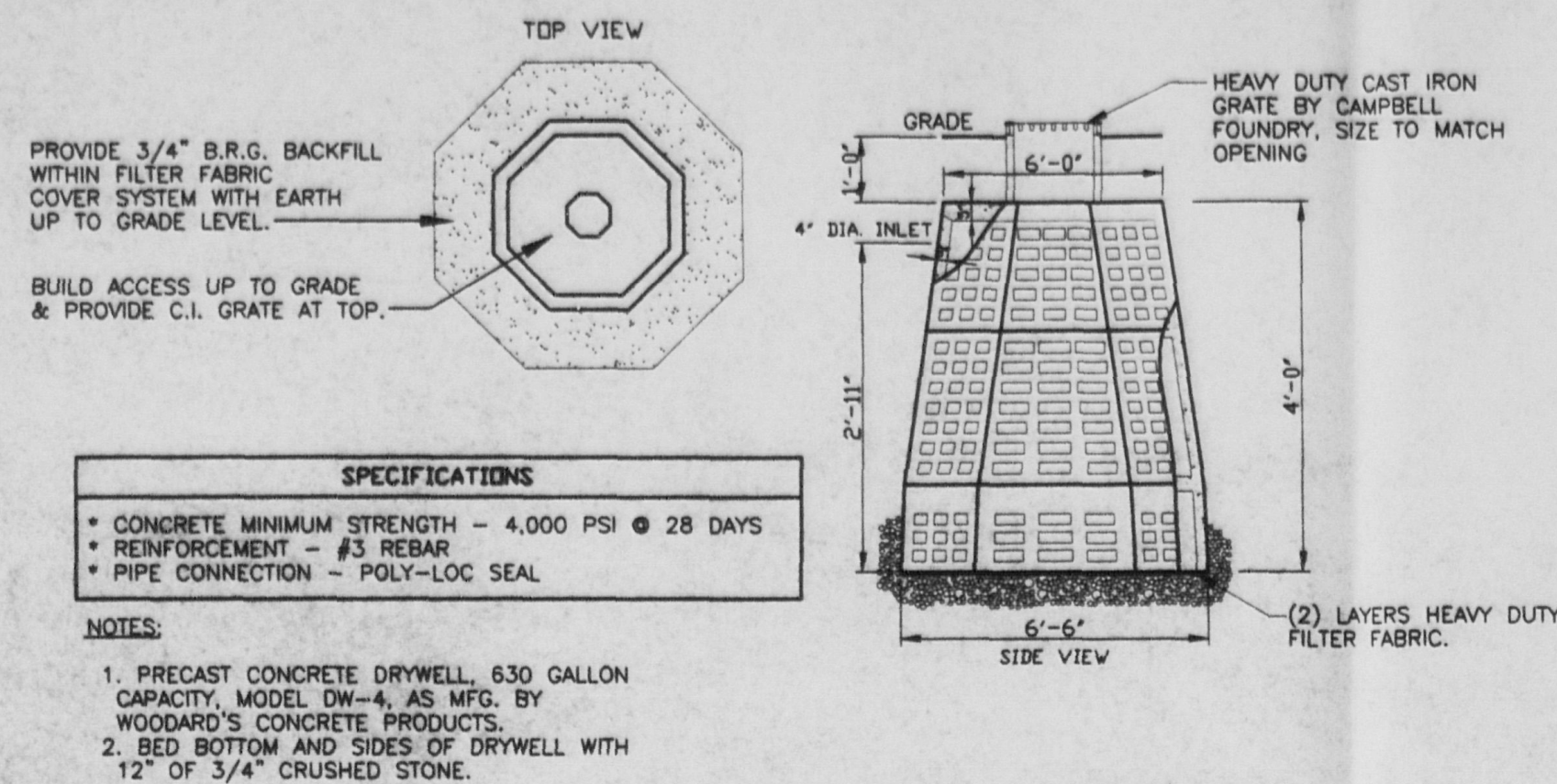
Revisions
Drawn By: MS
Date: 8/29/00
SCALE: AS NOTED
PROJECT NUMBER: 00-48

Sheet No.
SP1

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

APR 11 2001
By: James Petro, Chairman
By: Thomas Beckman, Secretary

SITE PLAN

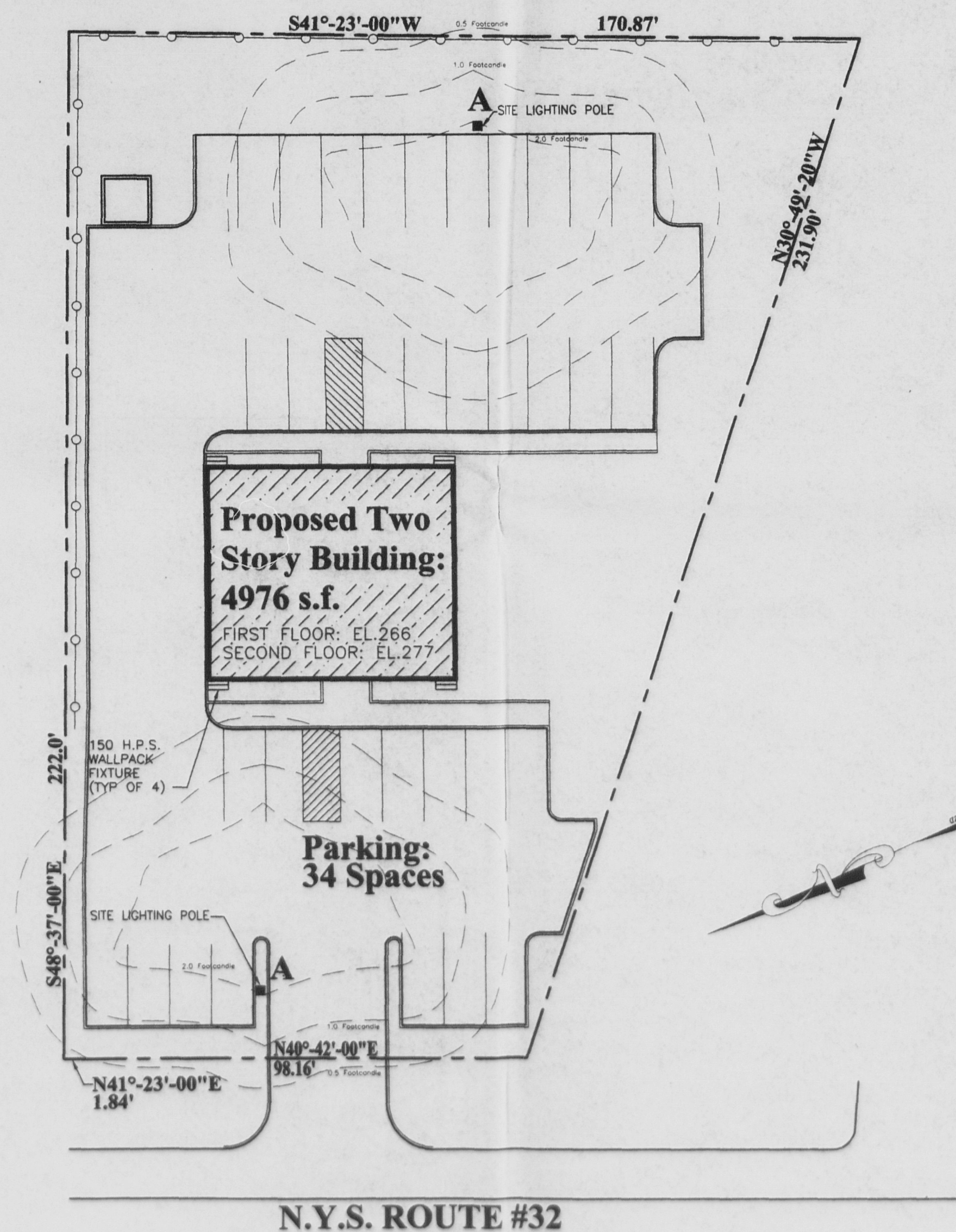


Site Lighting Schedule

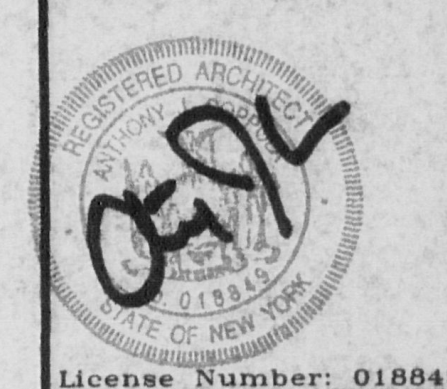
Label	Quantity	Mounting Height	Catalog Number	Detail #
A	2	25'-0"	EMCO ECA 18FM 400 MH	9-SP3

Site Lighting Notes:

- All parking lighting as manufactured by Thomas Lighting Co., distributed by Pyramid Lighting Group., (914) 699-1996



Anthony J. Coppola
Design, Architecture and Planning
375 Third St., Newburgh, N.Y. 12550
Tel: 914-561-3559
Fax: 914-561-2051
Email: ajc@archery.frontiercomm.net
Website: http://ajcarchery.frontiercomm.net



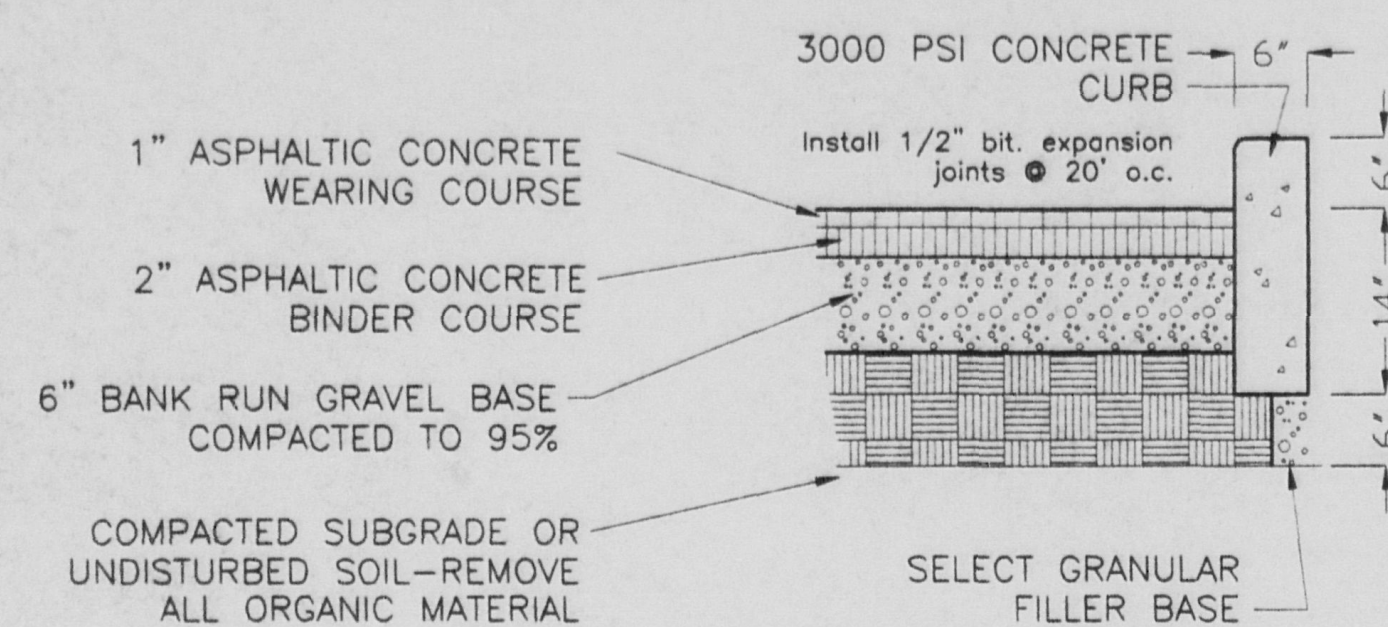
Proposed Site Plan for
Ben Harris
New Windsor, New York

Revisions
Drawn By: MS
Date: 8/29/00
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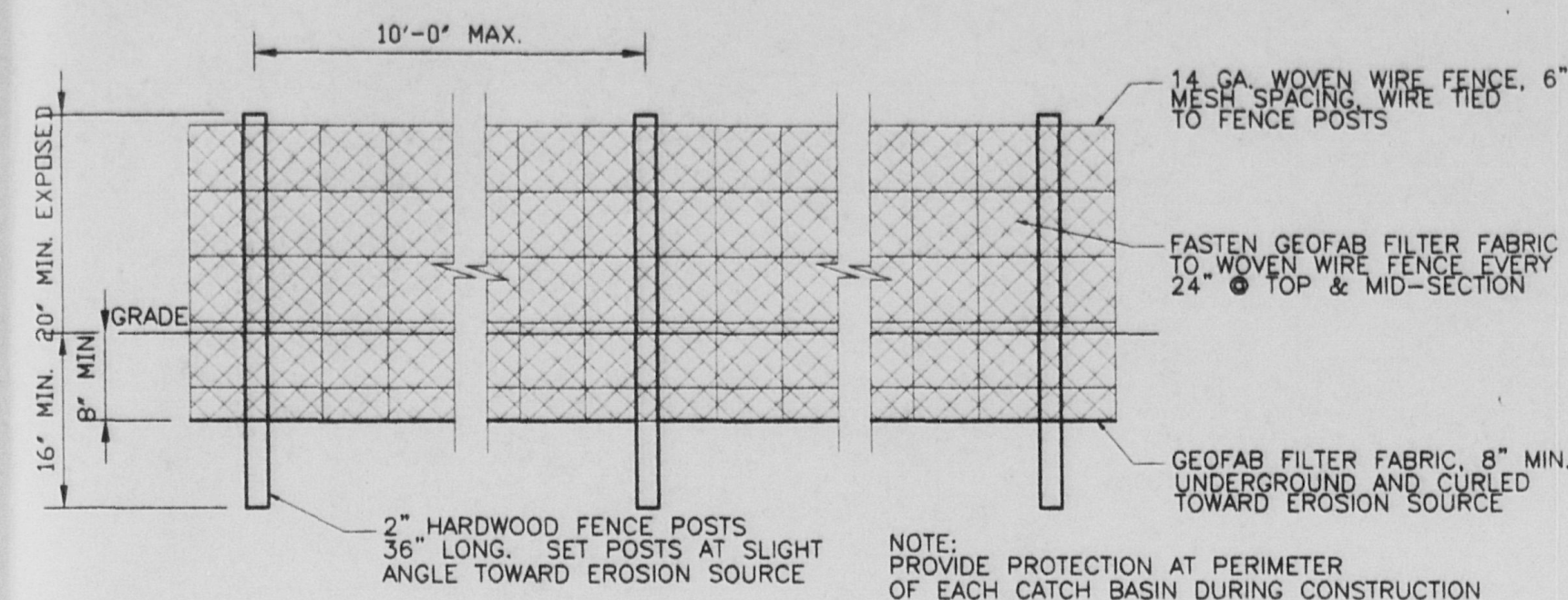
Sheet No.
SP2

Site Details

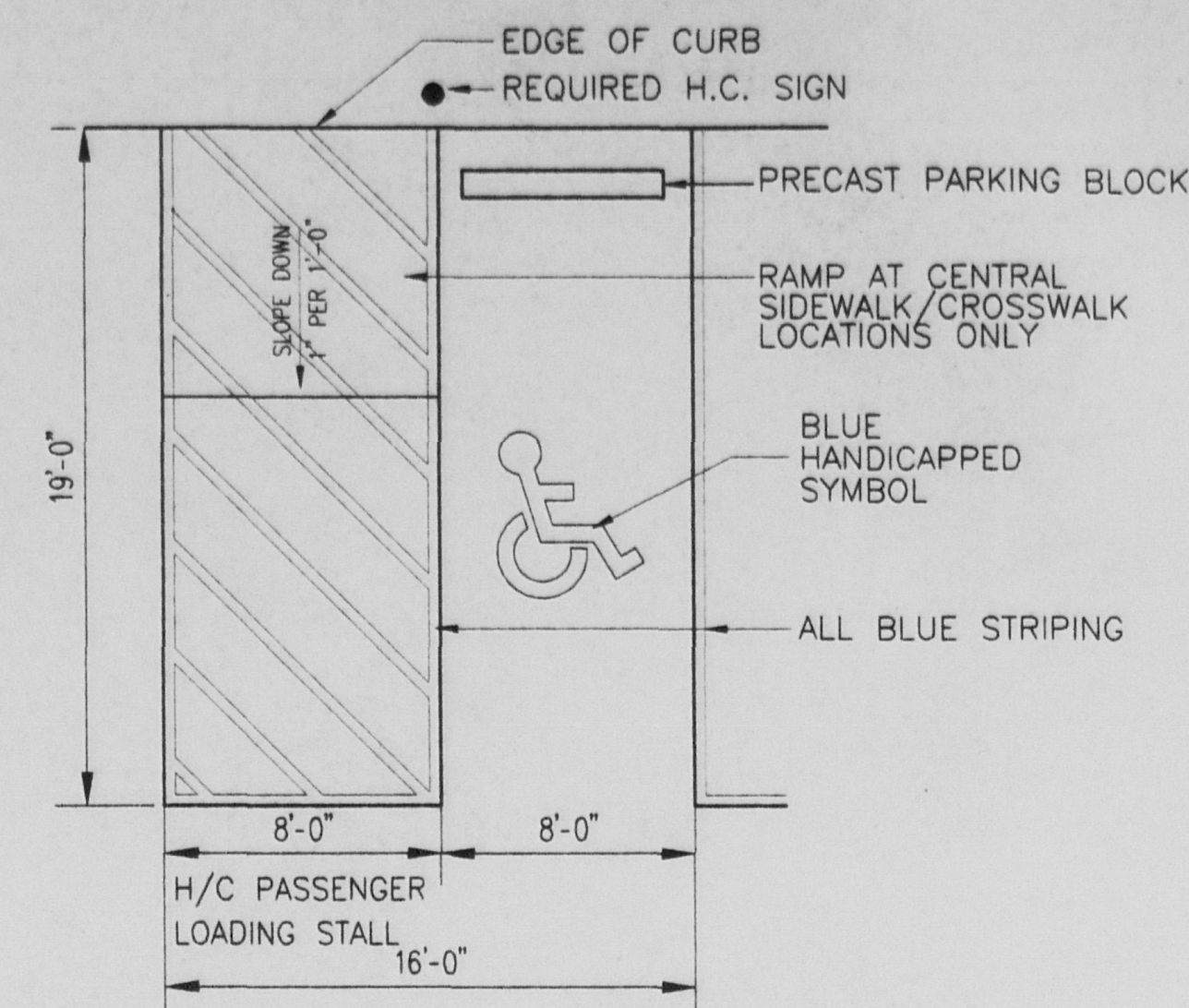
APPROVAL GRANTED BY TOWN OF NEW WINDSOR
APR 11 2001
By: James Petro, Jr., Chairman
By: James Petro, Jr., Secretary



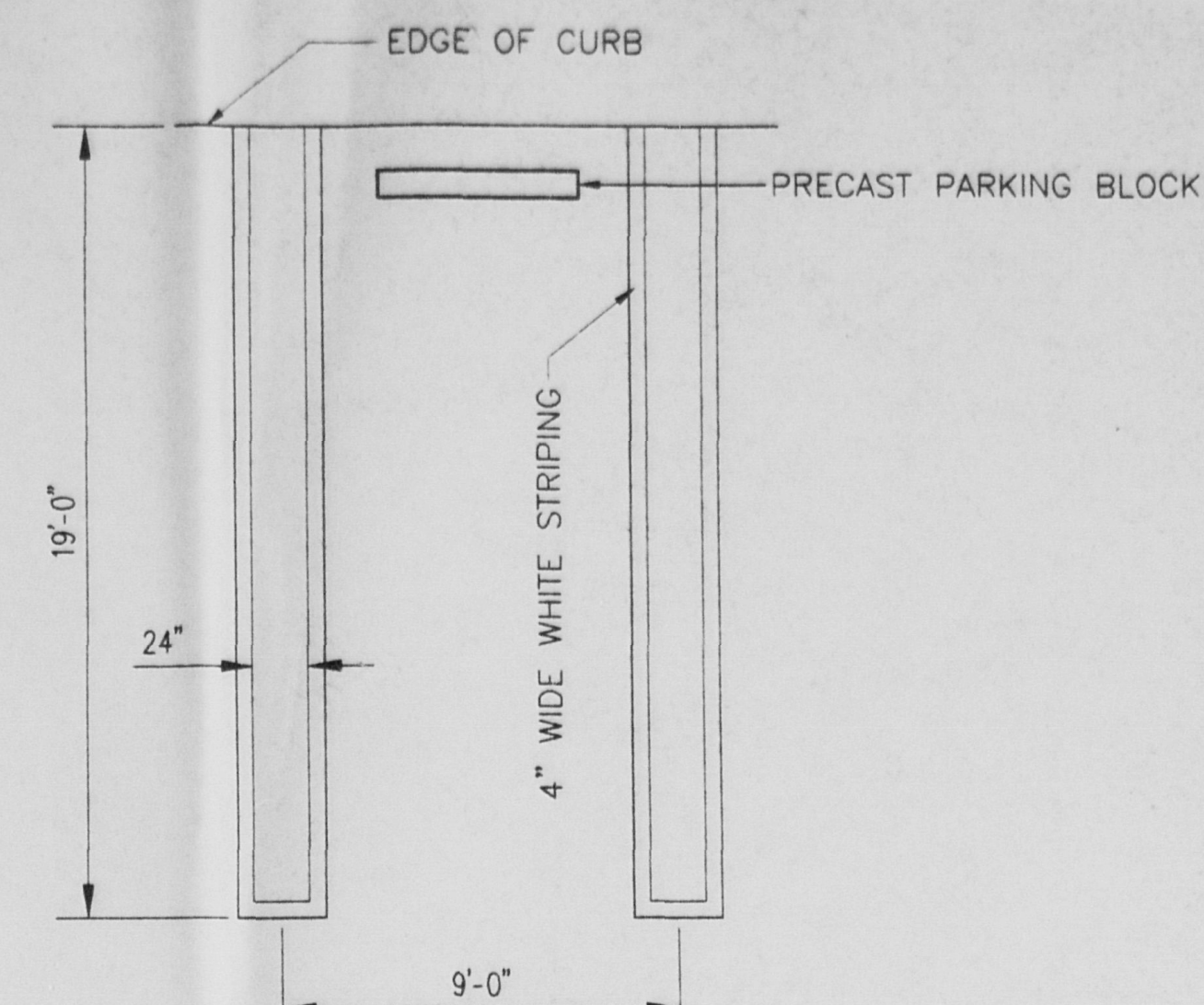
1 Pavement & Curb Detail
SP3 Scale: 1"=1'-0"



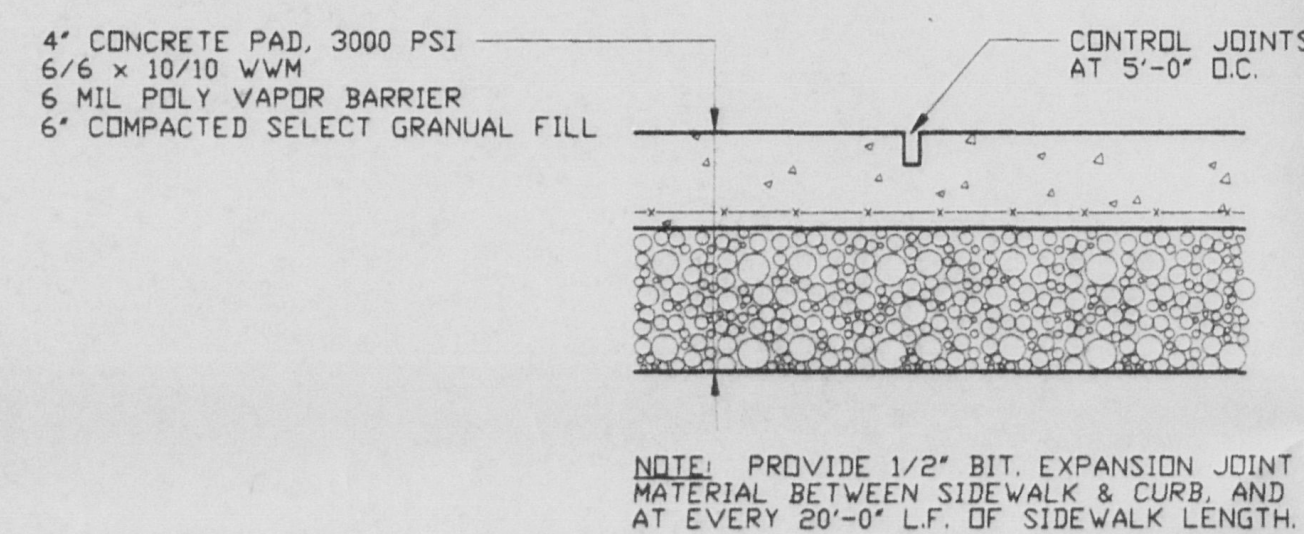
2 Erosion Control Fence Detail
SP3 NTS



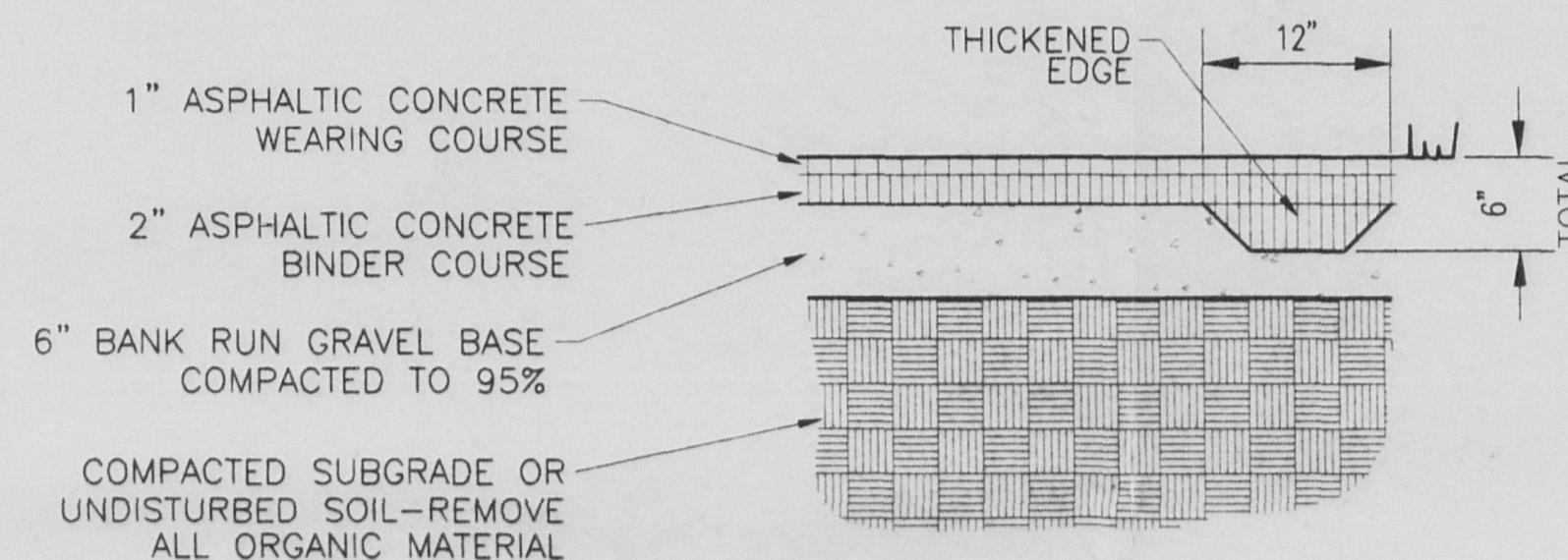
3 HC Space Detail
SP3 Scale: 1-1/2"=1'-0"



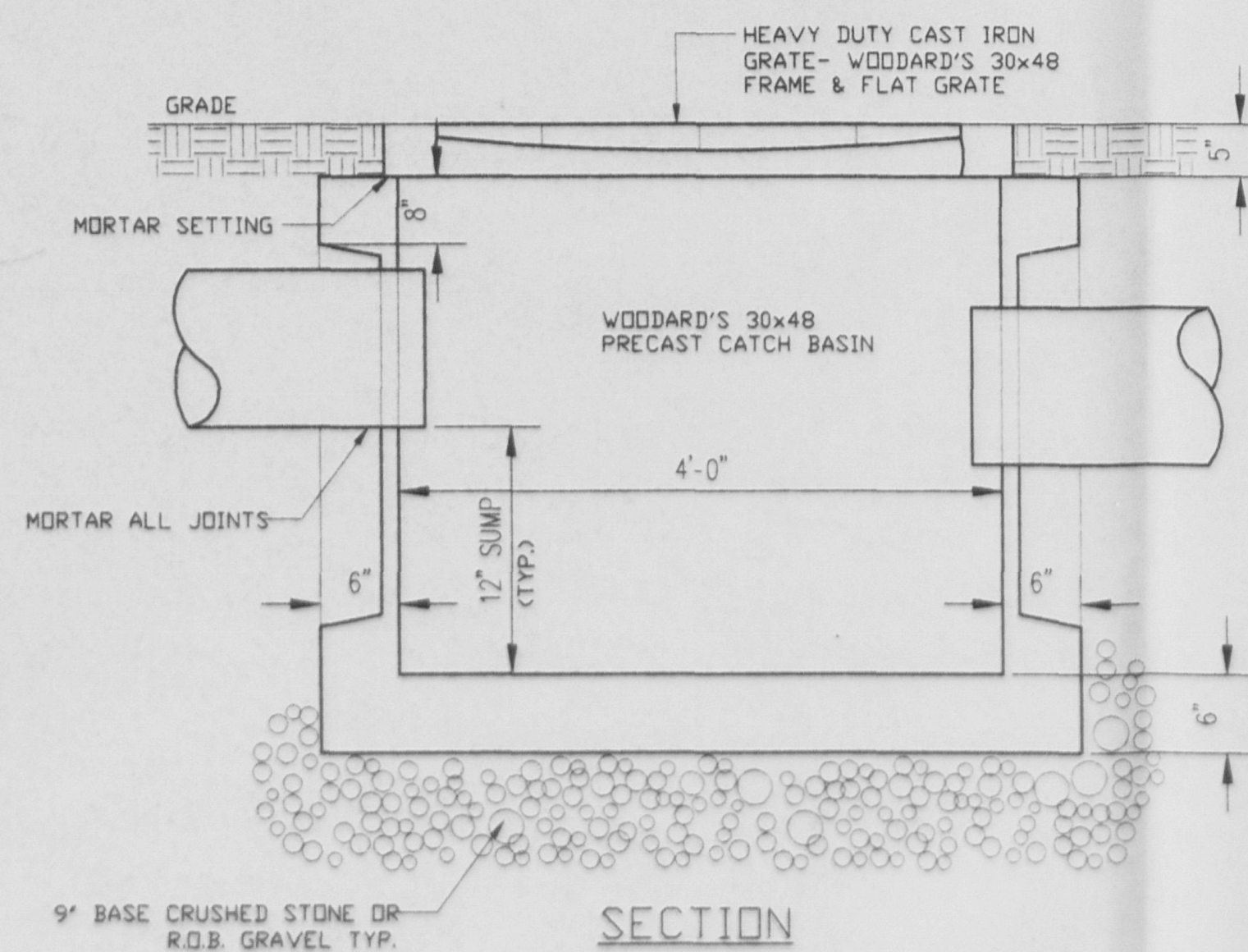
4 Typical Parking Space
SP3 NTS



5 Walkway Detail
SP3 Scale: 1"=1'-0"

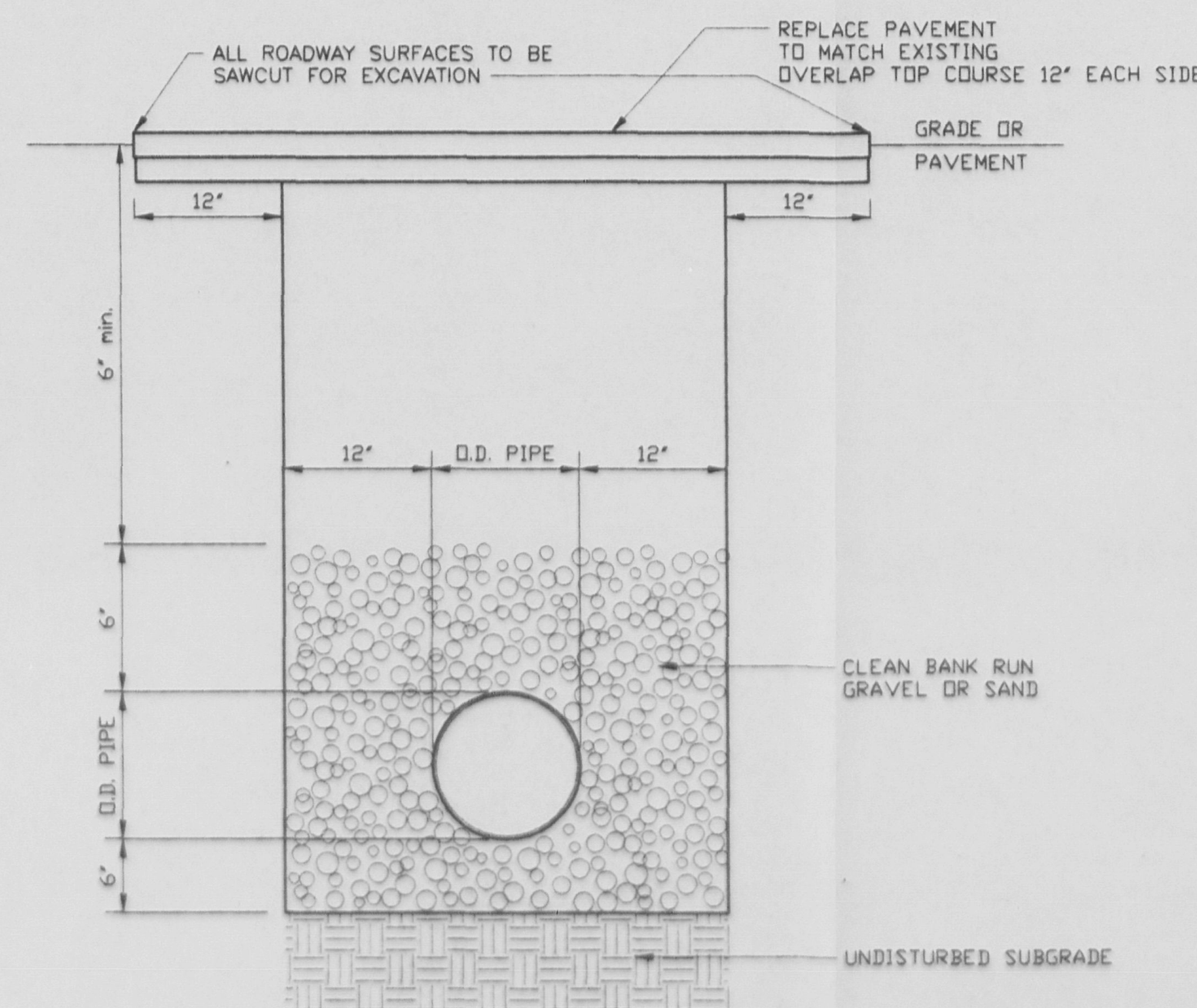


6 Edge of Pavement Detail
SP3 NTS

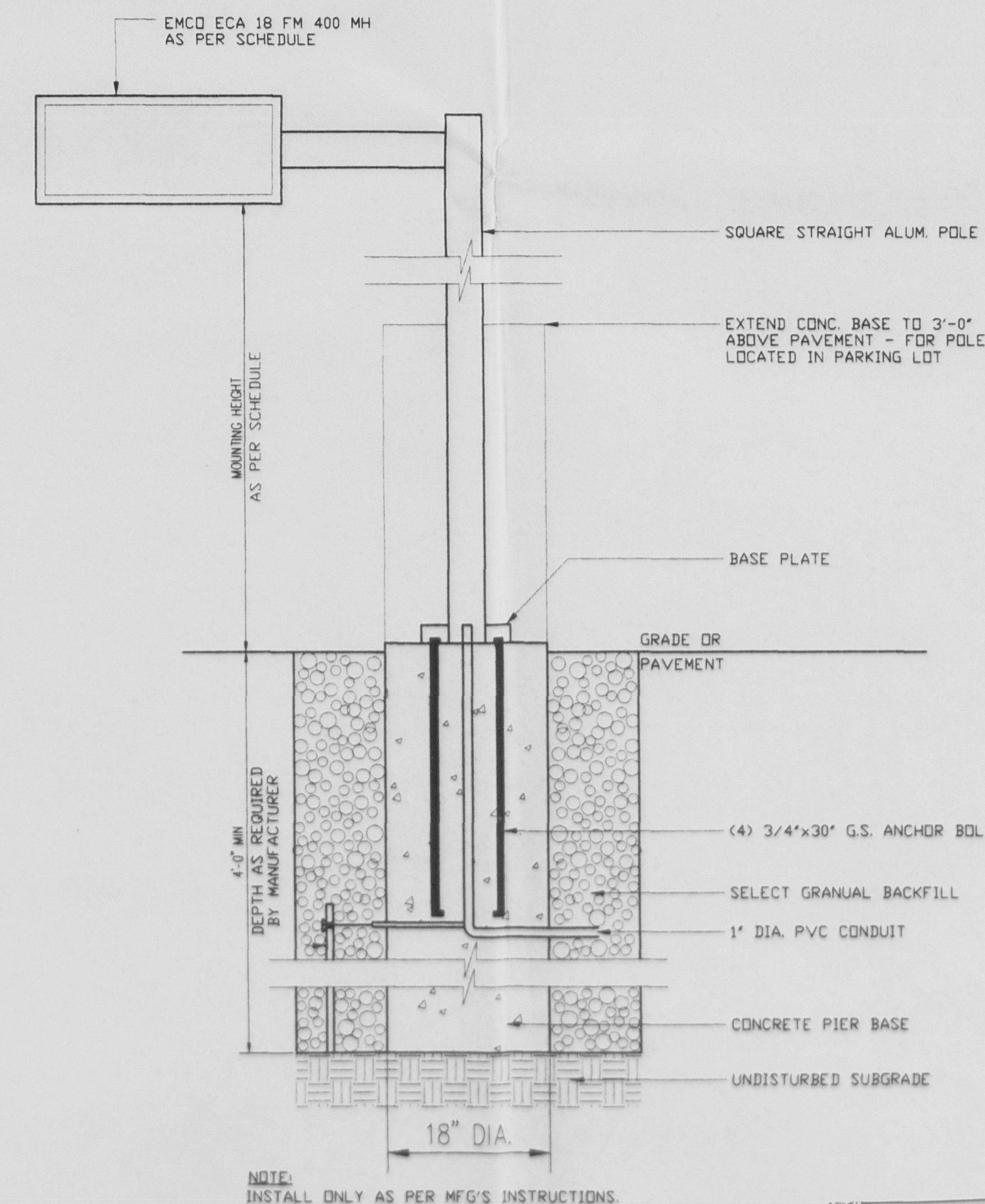


NOTES:
1. ALL PIPES SHALL BE INSTALLED FLUSH WITH INSIDE WALLS.
2. TOP OF PIPES ARE TO BE MATCHED WHERE INLET DIAMETER IS SMALLER THAN OUTLET DIAMETER.
3. CONCRETE STRENGTH OF 4,000PSI @ 28 DAYS.
4. REINFORCEMENT: 6"x6"x10 GA. WIRE MESH.
5. H2O LOADING REQUIREMENT
6. PROVIDE PROTECTION AT PERIMETER OF EACH CATCH BASIN DURING CONSTRUCTION

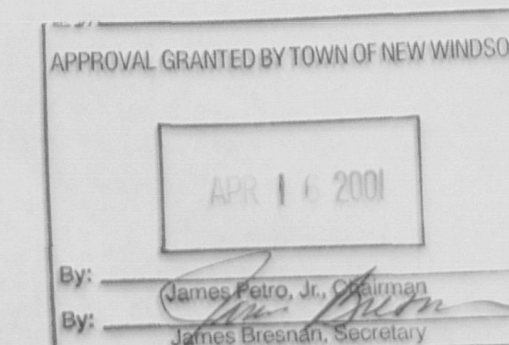
7 Catch Basin Detail
SP3 Scale: 1-1/2"=1'-0"



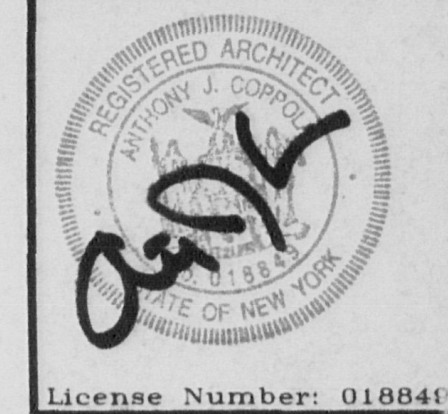
8 Typical Trench Detail
SP3 Scale: 1-1/2"=1'-0"



9 Lighting Detail
SP3 NTS



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SP3

Site Details